

Chapter 18.3.2 CROMAN MILL DISTRICT

Sections:

- **18.3.2.010 Purpose.**
- **18.3.2.020 Applicability.**
- **18.3.2.030 General Requirements.**
- **18.3.2.040 Allowed Uses.**
- **18.3.2.050 Dimensional Standards.**
- **18.3.2.060 Site Development and Design Standards.**
- **18.3.2.070 Open Space Zone.**

18.3.2.010 Purpose

The purpose of this section is to provide for the orderly development of the Croman Mill district, including the new Ashland Mill sub-district, implement the Croman Mill Site Redevelopment Plan. The district is designed to provide an environment suitable for employment, recreation, and living. The CM district is a blueprint for promoting family-wage jobs, professional office and manufacturing commerce, neighborhood-oriented businesses, mixed-use projects, and community services in a manner that enhances property values by providing transportation options and preserving significant open spaces while minimizing the impact on natural resources through site and building design. The Croman Mill District Standards were adopted by the City Council on August 17, 2010 (Ordinance No. [3031](#)), and amended on December 16, 2011 (Ordinance No. [3053](#)).

18.3.2.020 Applicability

This chapter applies to properties designated as CM on the Zoning Map, and pursuant to the Croman Mill District Plan maps adopted by Ordinance ____ (Date) Ordinance [3031](#) (August, 2010). Development located within the Croman Mill (CM) district is required to meet all applicable sections of this ordinance, except as otherwise provided in this chapter; where the provisions of this chapter conflict with comparable standards described in any other ordinance, resolution or regulation, the provisions of the CM district shall govern.

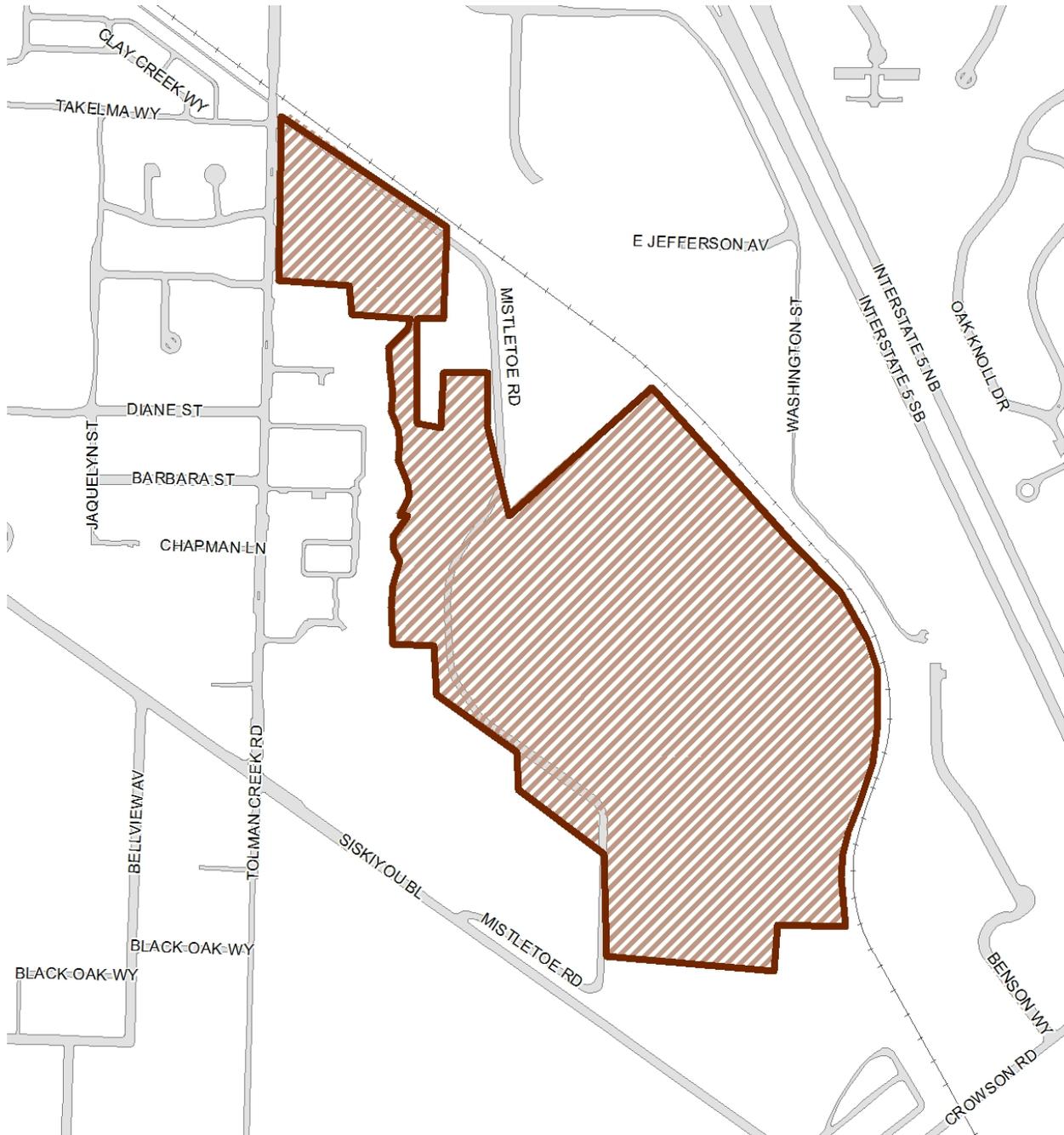


Figure 18.3.2.020. Croman Mill District

18.3.2.030 General Requirements

A. Conformance with the Croman Mill District Plan. Land uses and development, including buildings, parking areas, streets, bicycle and pedestrian access ways, multi-use paths, and open spaces shall be located in accordance with those shown on the revised Croman Mill District Plan maps adopted by Ordinance [Ordinance 3031](#).

B. Site Development and Design Standards. New development is subject to Site Design Review under chapter [18.5.2](#) and must comply with the site development and design standards in section [18.3.2.060](#).

C. Amendments. Major and minor amendments to the Croman Mill District Plan shall comply with the following procedures.

1. Major and Minor Amendments.

a. Major amendments are those that result in any of the following.

i. A change in the zoning.

ii. A modification to the street layout plan that necessitates a street or other transportation facility to be eliminated.

iii. A change not specifically listed under the major and minor amendment definitions.

b. Minor amendments are those that result in any of the following.

i. A change in the street layout that requires a street, access way, multi-use path or other transportation facility to be shifted more than 25 feet in any direction, as long as the change maintains the connectivity established by the Croman Mill District Plan.

ii. Changes related to street trees, street furniture, fencing or signage.

iii. A change in the design of a street in a manner inconsistent with the Croman Mill District Standards.

iv. A modification of a driveway access location in a manner inconsistent with the Croman Mill District Standards.

v. A site layout, landscaping or building design which is inconsistent with the Croman Mill District Standards.

vi. A change to an area allocation for special permitted uses in subsection [18.3.2.040.B](#).

vii. A change in a dimensional standard requirement in subsection [18.3.2.050](#), but not including height and residential density.

2. Major Amendment – Type II Procedure. The approval authority may approve a major amendment to the Croman Mill District Plan through a Type II procedure in section [18.5.1.060](#) upon finding that the application meets all of the following criteria.

a. The proposed modification maintains the connectivity established by the district plan, or the proposed modification is necessary to adjust to physical constraints evident on the property, or to protect significant natural features such as trees, rock outcroppings, wetlands, or similar natural features, or to adjust to existing property lines between project boundaries.

b. The proposed modification furthers the design, circulation, and access concepts advocated by the district plan.

c. The proposed modification will not adversely affect the purpose and objectives of the district plan.

3. Minor Amendment – Type I Procedure. A minor amendment to the Croman Mill District Plan is subject to the Type I procedure in section [18.5.1.050](#). Minor amendments shall not be subject to the Exception to the Site Development and Design Standards in subsection [18.5.2.050.E](#). A minor amendment may be approved upon finding that granting the approval will result in a development design that equally or better achieves the stated purpose of this chapter, objectives of specific Croman Mill District Standards, and guiding principles of the Croman Mill Site Redevelopment Plan.

18.3.2.040 Allowed Uses

A. Uses Allowed in Croman Mill Zones. Allowed uses include those that are permitted, permitted subject to special use standards, and allowed subject to a conditional use permit. Where Table [18.3.2.040](#) does not list a specific use and part [18.6](#) does not define the use or include it as an example of an allowed use, the City may find that use is allowed, or is not allowed, following the procedures of section [18.1.5.040](#) Similar Uses. Uses not listed in Table [18.2.2.030](#) and not found to be similar to an allowed use are prohibited. All uses are subject to the development standards of zone in which they are

located, any applicable overlay zone(s), and the review procedures of part [18.5](#). See section [18.5.1.020](#) Determination of Review Procedure.

B. Uses Regulated by Overlay Zones. Notwithstanding the provisions of chapter [18.2.2](#) Base Zones, additional land use standards or use restrictions apply within overlay zones. An overlay zone may also provide for exceptions to some standards of the underlying zone. For regulations applying to the City’s overlays zones, please refer to part [18.3](#).

C. Mixed-Use. Uses allowed in a zone individually are also allowed in combination with one another, in the same structure or on the same site, provided all applicable development standards and building code requirements are met.

Table 18.3.2.040. Croman Mill District Uses-Allowed-by-Zone

[NOTE: WE PROPOSE KEEPING NEIGHBORHOOD CENTER NC, COMPATIBLE INDUSTRIAL CI, OS OPEN SPACE, AND MIXED USE MU, APPLYING ONLY TO THE NON-TOWNSHIP PROPERTIES. THEN ADD TWO NEW ZONES FOR THE ASHLAND MILL SUBDISTRICT ONLY: COMPATIBLE INDUSTRIAL AND COMMERCIAL MIXED USE (CIC-MU), AND RESIDENTIAL MIXED USE (R-MU). SEE PROPOSED DRAFT TABLE FOLLOWING.]

Croman Mill District Zones				
NC	MU	OE	CI	OS
A. Residential				
Residential Uses				S S N N N
Agricultural Uses, except Keeping of Livestock				N N N N N
Keeping of Bees, Micro Livestock and Livestock				N N N N N
Marijuana Cultivation, Homegrown				S S N N N
Temporary Employee Housing				N N S S N
B. Commercial				
Stores, restaurants, and shops less than 3,000 sq. ft., excluding fuel sales, automobile sales and repair				P N N N N
Limited stores, restaurants, and shops, excluding fuel sales, automobile sales, and repair, including marijuana retail sales				N S S S N
Professional, financial, business, and medical offices				N P P S N
Administrative or research and development establishments				N P P P N
Child or day care centers				P S S S N
Fitness, recreations sports, gym or athletic club				P N N N N
Ancillary employee services (e.g., cafeteria, fitness area)				N S S S N
Kennels (indoor) and veterinary clinics				N N S S N
Motion picture, television or radio broadcasting studios				N P P P N
Temporary uses				C C C C C
C. Industrial				
Manufacturing, assembly, fabrication or packaging including manufacturing of food products				N P S P N
Limited manufacturing affiliated with a retail use				S N N N N
Marijuana laboratory, processing, and production				N S S S N
Rail freight loading dock facilities				N N N P N
Rail or rapid transit passenger facilities				P P P P N
Warehouse and similar storage facilities, including marijuana wholesale				N S S S N
Limited outdoor storage				N S S S N
Wireless communication facilities attached to an existing structure pursuant to Sec. 18.72.180				C C P P N
Freestanding wireless communication support structures pursuant to Sec. 18.72.180				C C C C N
D. Public and Institutional				
Public service or community buildings with office or space used directly by the public				P C C C P

Public service or community buildings without office or space used directly by the public	C	C	C	C	C
Public and quasi public utility facilities enclosed in a building	S	S	S	S	S
Oregon Department of Transportation (ODOT) maintenance facility and yard	S	N	N	N	N
Private school, college, trade school, technical school or similar school	C	C	C	C	N
Electrical substations	N	N	C	C	N
Rail or rapid transit passenger facilities	P	P	P	P	N
Warehouse and similar storage facilities	N	S	S	S	N
Limited outdoor storage	N	S	S	S	N
Wireless communication facilities attached to an existing structure pursuant to 18.72.180	C	C	P	P	N
Freestanding wireless communication support structures pursuant to 18.72.180	C	C	C	C	N
Public service or community buildings with office or space used directly by the public	P	C	C	C	P
Public service or community buildings without office or space used directly by the public	C	C	C	C	C
Public and quasi public utility facilities enclosed in a building	S	S	S	S	S
Oregon Department of Transportation (ODOT) maintenance facility and yard	S	N	N	N	N
Private school, college, trade school, technical school or similar school	C	C	C	C	N
Electrical substations	N	N	C	C	N

1 Key: P = Permitted Uses; S = Permitted with Special Use Standards; CU = Conditional Use Permit Required; N = Not Allowed.

2 Zones: NC = Neighborhood Commercial; MU = Mixed Use; OE = Office Employment; CI = Compatible Industrial; OS = Open Space.

ADD THESE TWO ZONES:

Table 18.3.2.040. Croman Mill District Uses Allowed by Zone¹

	Croman Mill District Zones ²						CIC-MU	R-MU
	NC	MU	OE	CI	OS			
A. Residential								
Residential Uses	S	S	N	N	N		S	P
Agricultural Uses, except Keeping of Livestock	N	N	N	N	N		C	C
Keeping of Bees, Micro-Livestock and Livestock	N	N	N	N	N		C	C
Marijuana Cultivation, Homegrown	S	S	N	N	N		S	S
Temporary Employee Housing	N	N	S	S	N		S	S
B. Commercial								
Stores, restaurants, and shops less than 3,000 sq. ft., excluding fuel sales, automobile sales and repair	P	N	N	N	N		P	C
Limited stores, restaurants, and shops, excluding fuel sales, automobile sales, and repair, including marijuana retail sales	N	S	S	S	N		P	C
Professional, financial, business, and medical offices	N	P	P	S	N		P	C
Administrative or research and development establishments	N	P	P	P	N		P	C
Child or day care centers	P	S	S	S	N		P	C
Fitness, recreations sports, gym or athletic club	P	N	N	N	N		P	C
Food trucks and food carts (subject to the requirements of section 18.2.3.145)	S	S	S	S	N		P	C
Ancillary employee services (e.g., cafeteria, fitness area)	N	S	S	S	N		P	C
Kennels (indoor) and veterinary clinics	N	N	S	S	N		C	C
Motion picture, television or radio broadcasting studios	N	P	P	P	N		S	S
Temporary uses	C	C	C	C	C		C	C
C. Industrial								
Manufacturing, assembly, fabrication or packaging including manufacturing of food products	N	P	S	P	N		P	C
Limited manufacturing affiliated with a retail use	S	N	N	N	N		P	C
Marijuana laboratory, processing, and production	N	S	S	S	N		C	N
Rail freight loading dock facilities	N	N	N	P	N		C	N
Rail or rapid transit passenger facilities	P	P	P	P	N		P	S
Warehouse and similar storage facilities, including marijuana wholesale	N	S	S	S	N		S	S
Limited outdoor storage	N	S	S	S	N		S	S
Wireless communication facilities attached to an existing structure pursuant to Sec. 18.72.180	C	C	P	P	N		C	C
Freestanding wireless communication support structures pursuant to Sec. 18.72.180	C	C	C	C	N		C	C
D. Public and Institutional								
Public service or community buildings with office or space used directly by the public	P	C	C	C	P		P	S
Public service or community buildings without office or space used directly by the public	C	C	C	C	C		C	S
Public and quasi public utility facilities enclosed in a building	S	S	S	S	S		S	S
Oregon Department of Transportation (ODOT) maintenance facility and yard	S	N	N	N	N		S	N
Private school, college, trade school, technical school or similar school	C	C	C	C	N		C	S
Electrical substations	N	N	C	C	N		N	N

ADD:

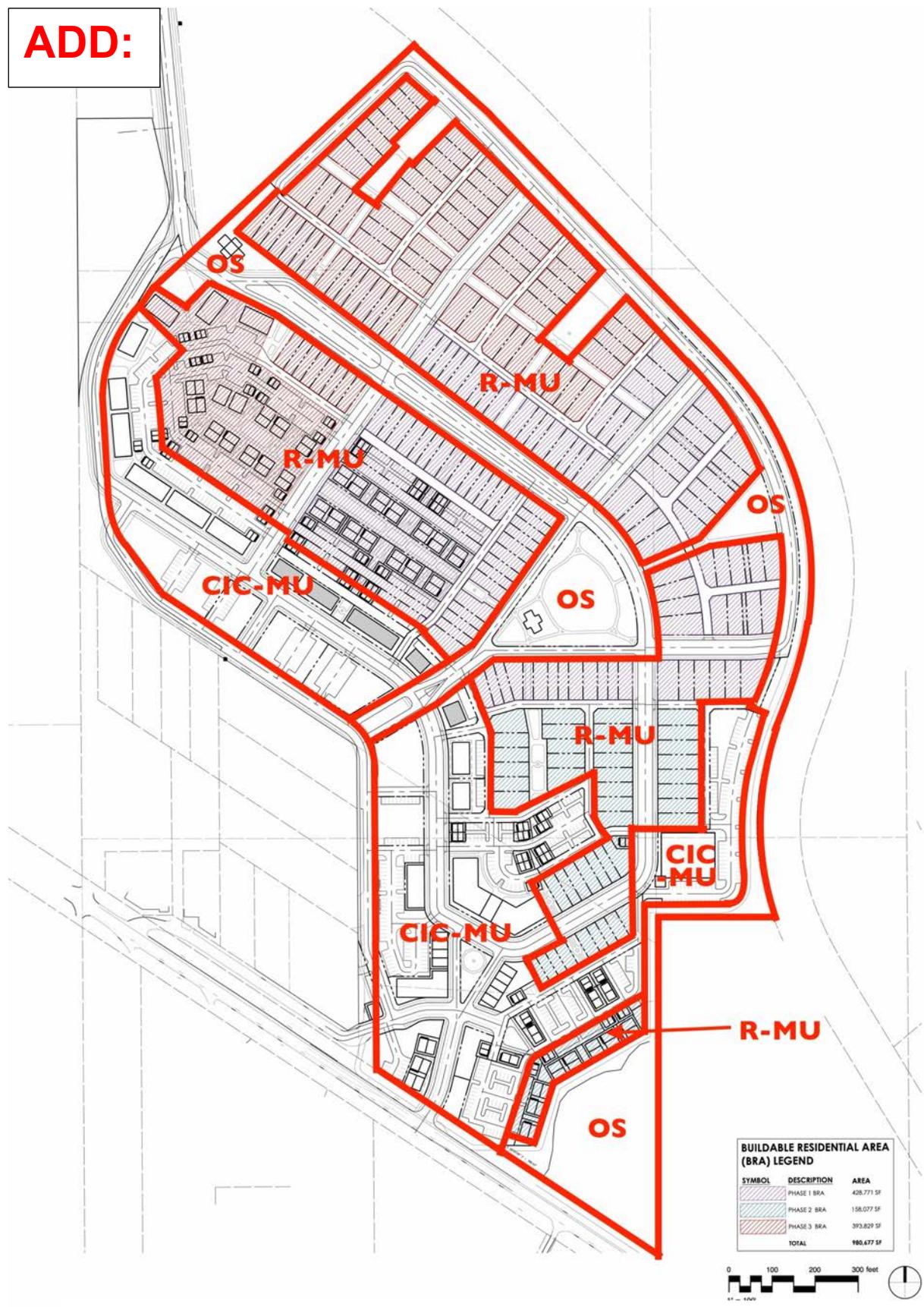


Figure 18.3.2.040.a. Zoning Map for the Ashland Mill Sub-District of the Croman Mill District

D. Special Use Standards. The uses listed as “Permitted with Special Use Standards (S)” in Table [18.3.2.040](#), above, are allowed provided they conform to the requirements of this section and the requirements of chapter [18.5.2](#) Site Design Review.

1. Residential Uses. Residential uses provided all of the following standards are met.

a. The ground floor area shall be designated for permitted or special permitted uses, excluding residential.

~~b. Residential densities shall not exceed the densities in section Dimensional Regulations. For the purposes of density calculations, units of less than 500 square feet of gross habitable floor area shall count as 0.75 of a unit.~~

c. Residential uses shall execute a hold harmless covenant and agreement stating they shall not protest impacts from commercial and industrial uses within the district.

2. Marijuana Cultivation, Homegrown. Subject to the standards in subsection [18.2.3.190.A](#).

3. Temporary Employee Housing. Residential units for use by persons employed within the facility and their families when all of the following standards are met.

a. Employee housing densities shall not exceed two units per acre. For the purposes of density calculations, units of less than 500 square feet of gross habitable floor area shall count as 0.75 of a unit.

b. The employee housing shall be in conjunction with a permitted or special permitted use on the property.

c. Units shall be restricted by covenant to be occupied by persons employed by a business operating on the property.

4. Limited Commercial Services and Retail. Stores, restaurants, shops, child/day care facilities, and ancillary employee services, when all of the following standards are met.

a. In the CI, MU, and OE zones, a maximum of 15 percent of the gross floor area in a building may be used for any or a combination of the following special permitted uses when the standards in this section are met: limited stores, restaurants, and shops; child or day care facilities; and ancillary employee services.

b. Limited Stores, Restaurants and Shops. In the MU zone, the floor area shall be limited to retail uses in conjunction with a permitted use.

c. Child or Day Care Facilities. Primary program activities are integrated into the interior of the building.

d. Ancillary Employee Services. Developments may include ancillary employee services such as cafeterias, fitness areas, or other supportive services generally intended to support the needs of employees when the following standards are met.

i. The use is integrated into the interior of the building.

ii. The ancillary employee services shall be in conjunction with a permitted or special permitted use on the property.

e. Marijuana Retail Sales. Marijuana retail sales are subject to the standards a-d in subsection [18.3.2.040.D.4](#), above, and the standards for marijuana-related businesses in subsection [18.2.3.190.B](#).

5. Professional, Financial, Business and Medical Offices in CI Zone. Developments in the CI zone may include ancillary office uses to support the operations of a permitted use on-site provided the maximum floor area dedicated for office uses shall not exceed 50 percent of the ground floor area.

6. Kennels. Kennels when all of the following standards are met.

- a. Kennels shall be located at least 200 feet from the nearest residential dwelling.
- b. All animals shall be boarded within a building at all times.
- c. No noise or odor shall emanate outside the walls of the building used as a kennel.
- d. A disposal management plan shall be provided demonstrating all animal waste will be disposed of in a sanitary manner.

7. Manufacture, Assembly, Fabrication, and Packaging in OE Zone. Developments in the OE zone may include ancillary manufacturing, assembly, fabrication, and packaging uses to support the operations of a permitted or special permitted use on-site when all of the following standards are met.

- a. The maximum floor area dedicated to manufacturing, assembly, fabrication, and packaging shall be 50 percent of the ground floor area.
- b. No outside space shall be used for the manufacturing, assembly, fabrication, and packaging processes.

8. Limited Manufacturing Affiliated with a Retail Use. Manufacturing, assembly, fabrication, or packaging contiguous to and associated with a retail space, provided the maximum floor area dedicated to manufacturing occupies 1,000 square feet, or ten percent of ground floor area, whichever is less.

9. Marijuana Laboratory, Processing, and Production.

- a. Marijuana laboratory, processing, and production are subject to the standards for marijuana-related businesses in subsection [18.2.3.190.B](#).
- b. In the OE zone, marijuana laboratory, processing, and production are subject to subsection [18.3.2.040.D.7](#), above.

10. Warehouse and Similar Storage Facilities. Warehouse and similar storage facilities when all of the following standards are met.

- a. The maximum floor area dedicated for use as warehouse or similar storage uses in the OE and MU zones shall be 50 percent of the ground floor area.
- b. Warehouse and storage facilities shall be provided only in conjunction with, and for the exclusive use by, a permitted or special permitted use on the property.
- c. Self-service mini-warehouses are prohibited.
- d. No outside space shall be used for storage, unless approved as a limited outdoor storage area.

e. Marijuana Wholesale. Marijuana wholesale storage is subject to the standards a-d in subsection [18.3.2.040.D.10](#), above, and the standards for marijuana-related businesses in subsection [18.2.3.190.B](#).

11. Limited Outdoor Storage. Limited outdoor storage associated with a permitted or special permitted use when all of the following standards are met.

- a. The maximum area dedicated to outdoor storage shall be 1,000 sq. ft. in the OE and MU zone; and 2,500 sq. ft. in the CI zone, or 50 percent of the ground floor area of the building housing the associated permitted or special permitted use, whichever is greater.
- b. The outdoor storage shall be located behind or on the side of buildings, and shall be located so the outdoor storage is the least visible from the street that is reasonable given the layout of the site.
- c. The outdoor storage shall be screened from view by placement of a solid wood or metal fence, or a masonry wall from five to eight feet in height.

d. The associated permitted use shall obtain a minimum of 50 percent of the employment density targets for the Croman Mill District.

[NOTE: Employment densities will be covered in the development agreement.]

12. Public and Quasi-Public Utility Service Buildings. Public and quasi-public utility service buildings when all of the following standards are met.

- a. Facilities and structures that are accessory to a public park in the OS zone, including but not limited to maintenance equipment storage, enclosed picnic facilities, and restrooms.
- b. Public and quasi-public utility service building relating to receiving and transmitting antennas and communication towers are subject to the applicable provisions of 18.4.10.
- c. Public and quasi-public utility service building shall demonstrate all of the following.
 - i. The need for the facility, present or future; and how the facility fits into the utility’s master plan.
 - ii. The facility utilizes the minimum area required for the present and anticipated expansion.
 - iii. Compatibility of the facility with existing surrounding uses and uses allowed by the plan designation.

13. Oregon Department of Transportation Maintenance Facility and Storage Yard. For the Oregon Department of Transportation Ashland maintenance facility and storage yard located on property within the NC zone, all the following shall apply.

- a. Buildings may be enlarged or replaced subject to Basic Site Review Standards.
- b. Are exempt from the Dimensional Regulations per [18.3.2.050](#) with the exception of minimum side and rear yard setbacks abutting a residential district and maximum height.
- c. Are exempt from the requirements of part [18.4](#) Site Development and Design Standards, and the requirements of [18.3.2.060](#) Croman Mill District Site Development and Design Standards

18.3.2.050 Dimensional Standards

The lot and building dimensions shall conform to **the following standards:**

standards in Table [18.3.2.050](#).

Table 18.3.2.050. Croman Mill District Dimensional Standards

[NOTE: WE PROPOSE KEEPING THESE STANDARDS AS IS FOR NEIGHBORHOOD CENTER NC, COMPATIBLE INDUSTRIAL CI, OS OPEN SPACE, AND MIXED USE MU, APPLYING ONLY TO THE NON-TOWNMAKER PROPERTIES. THEN APPLY TO TWO NEW ZONES TO BE CREATED FOR CROMAN MILL ONLY: COMPATIBLE INDUSTRIAL/COMMERCIAL MIXED USE (CIC-MU) AND RESIDENTIAL MIXED-USE (R-MU). SEE PROPOSED NEW TABLE FOLLOWING THIS SECTION.]

Croman Mill District Zones ¹				
NC	MU	OE	CI	OS

Residential Density—Maximum

(dwelling units/acre)²

Without bonus	30	15	NA	NA	NA
With bonus	60	30	NA	NA	NA
³ Density of the development may not exceed the density established by this standard. Density must be computed by dividing the total number of dwelling units by the acreage of the project, including land dedicated to the public. Fractional portions shall not apply toward the total density.					
Lot Area—Minimum (square feet)	NA	NA	20,000	40,000	NA
Lot Frontage—Minimum (feet)	50	NA	100	100	NA
Lot Width—Minimum (feet)	50	NA	100	100	NA
Standard Yards (feet)					
Yard Abutting a Street—Minimum ³	2	2	2	2/10	NA
Yard Abutting a Street—Maximum ⁴	10	10	10	10	NA
Side—Minimum abutting a residential zone	10	10	NA	NA	NA
Rear—Minimum per story abutting a residential zone	10	10	NA	NA	NA
³ In CI zone, minimum yard abutting an Active Edge Street is two feet, and minimum yard not abutting an Active Edge Street is ten feet.					
⁴ Maximum yard requirements do not apply to entry features such as alcoves, and to hardscape areas for pedestrian activities such as plazas or outside eating areas.					
Solar Access:	The solar access setback in chapter 18.4.8 Solar Access does not apply in the Croman Mill District.				
Building Height ⁵					
Minimum Number of Stories ⁶	2	2	2	2	NA
Maximum Height without Bonus, stories/feet	2.5/35	3/40	3/40	3/40	1/20
Maximum Height with Bonus, stories/feet ⁷	4/50	4/50	5/75	5/75	NA
⁵ Solar energy systems and parapets may be erected up to five feet above the calculated building height, and no greater than five feet above the height limited in the district.					
⁶ In the CI zone, second story shall be a minimum of 20% of the gross floor area.					
⁷ In the Residential Buffer Zone, the maximum building height with a bonus is 40 feet.					
Frontage Build Out on Active Edge Street					
Minimum, percent	65	65	65	65	NA
Floor Area Ratio (FAR)—Minimum ⁸	0.6	0.6	0.6	0.5	NA
⁸ Plazas and pedestrian areas shall count as floor area for the purposes of meeting the minimum FAR.					
Landscaping Coverage—Minimum (% of site)	15%	15%	15%	10%	NA

¹Zones: NC = Neighborhood Commercial; MU = Mixed Use; OE = Office Employment; CI = Compatible Industrial; OS = Open Space.

FOR TOWNMAKERS SITE, ADD THESE STANDARDS (FOR BOTH CIC-MU AND R-MU ZONES):

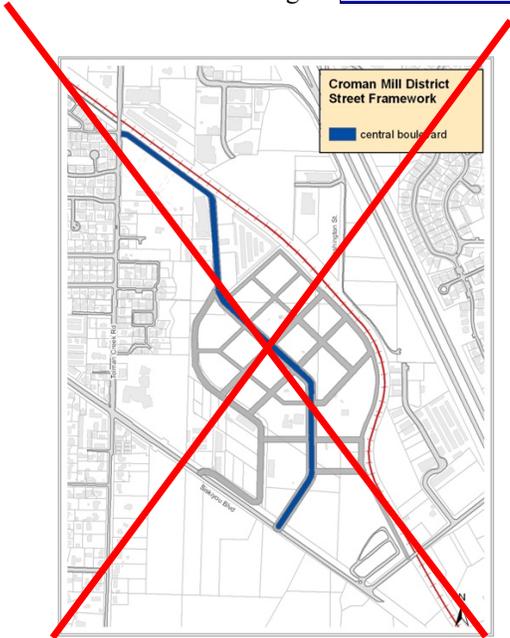
Table 18.3.2.050. Croman Mill District Dimensional Standards

	Croman Mill District Zones ¹						
	NC	MU	OE	CI	OS	CIC-MU	R-MU
Residential Density - Maximum (dwelling units/acre) ²							
Without bonus	30	15	NA	NA	NA	NA	NA
With bonus	60	30	NA	NA	NA	NA	NA
² Density of the development may not exceed the density established by this standard. Density must be computed by dividing the total number of dwelling units by the acreage of the project, including land dedicated to the public. Fractional portions shall not apply toward the total density.							
Lot Area - Minimum (square feet)	NA	NA	20,000	40,000	NA	NA	NA
Lot Frontage - Minimum (feet)	50	NA	100	100	NA	18	NA
Lot Width - Minimum (feet)	50	NA	100	100	NA	18	12
Standard Yards (feet)							
Yard Abutting a Street - Minimum ³	2	2	2	2/10	NA	NA	NA
Yard Abutting a Street - Maximum ⁴	10	10	10	10	NA	NA	NA
Side - Minimum abutting a residential zone	10	10	NA	NA	NA	NA	NA
Rear - Minimum per story abutting a residential zone	10	10	NA	NA	NA	NA	NA
³ In CI zone, minimum yard abutting an Active Edge Street is two feet, and minimum yard not abutting an Active Edge Street is ten feet.							
⁴ Maximum yard requirements do not apply to entry features such as alcoves, and to hardscape areas for pedestrian activities such as plazas or outside eating areas.							
Solar Access:	The solar access setback in chapter 18.4.8 Solar Access does not apply in the Croman Mill District.						
Building Height ⁵							
Minimum Number of Stories ⁶	2	2	2	2	NA	NA	NA
Maximum Height without Bonus, stories/feet	2.5/35	3/40	3/40	3/40	1/20	4/50	4/50
Maximum Height with Bonus, stories/feet ⁷	4/50	4/50	5/75	5/75	NA	NA	NA
⁵ Solar energy systems and parapets may be erected up to five feet above the calculated building height, and no greater than five feet above the height limited in the district.							
⁶ In the CI zone, second story shall be a minimum of 20% of the gross floor area.							
⁷ In the Residential Buffer Zone, the maximum building height with a bonus is 40 feet.							
Frontage Build Out on Active Edge Street							
Minimum, percent	65	65	65	65	NA	NA	NA
Floor Area Ratio (FAR) - Minimum ⁸	0.6	0.6	0.6	0.5	NA	NA	NA
⁸ Plazas and pedestrian areas shall count as floor area for the purposes of meeting the minimum FAR.							
Landscaping Coverage - Minimum (% of site)	15%	15%	15%	10%	NA	10%	10%
¹ Zones: NC = Neighborhood Commercial; MU = Mixed Use; OE = Office Employment; CI = Compatible Industrial; OS = Open Space; CIC-MU = Compatible Industrial-Commercial Mixed Use; R-MU = Residential Mixed Use							

18.3.2.060 Site Development and Design Standards

A. Street Design and Access. The design and construction of streets and public improvements shall be in accordance with section [18.4.6.040](#) Street Design Standards, except as otherwise required for the following facilities within the Croman Mill District. A change in the design of a street in a manner inconsistent with the Croman Mill District Street Design Standards requires a minor amendment in accordance with subsection [18.3.2.030.B](#).

1. Central Boulevard. The tree-lined boulevards along Siskiyou Boulevard and Ashland Street are an easily identifiable feature of Ashland's boulevard network. Application of this street design to the central boulevard will create a seamless boulevard loop, linking the Croman Mill District with downtown Ashland. The central boulevard also serves as the front door to the Croman Mill District, creating a positive first impression when entering the district. Options addressing the street configuration and intersection geometry will be evaluated with the final design of the central boulevard. See central boulevard location in Figure [18.3.2.060.A.1.a](#) and street cross section in Figure 18.3.2.060.1.b.



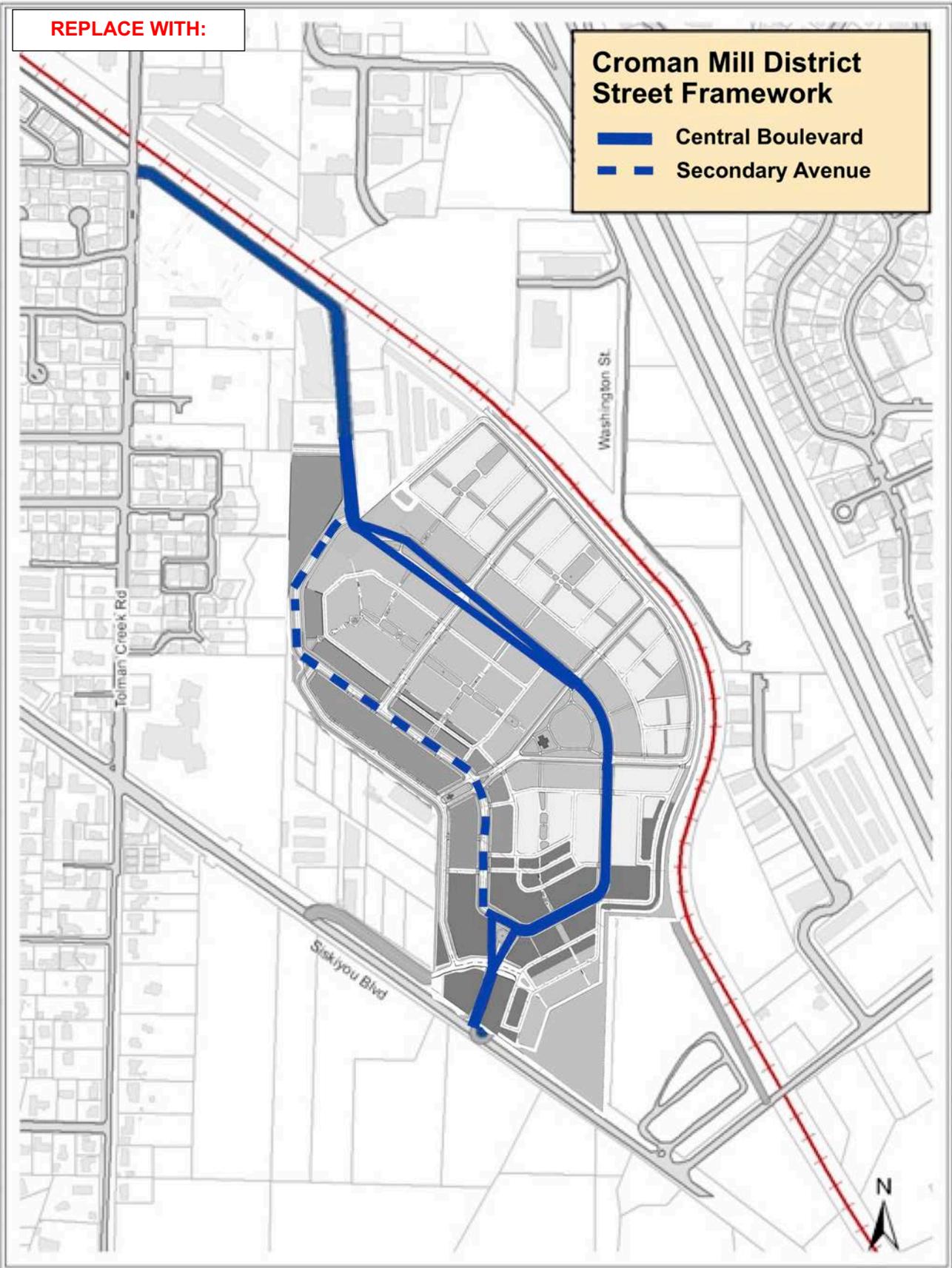


Figure 18.3.2.060.A.1.a. Street Framework

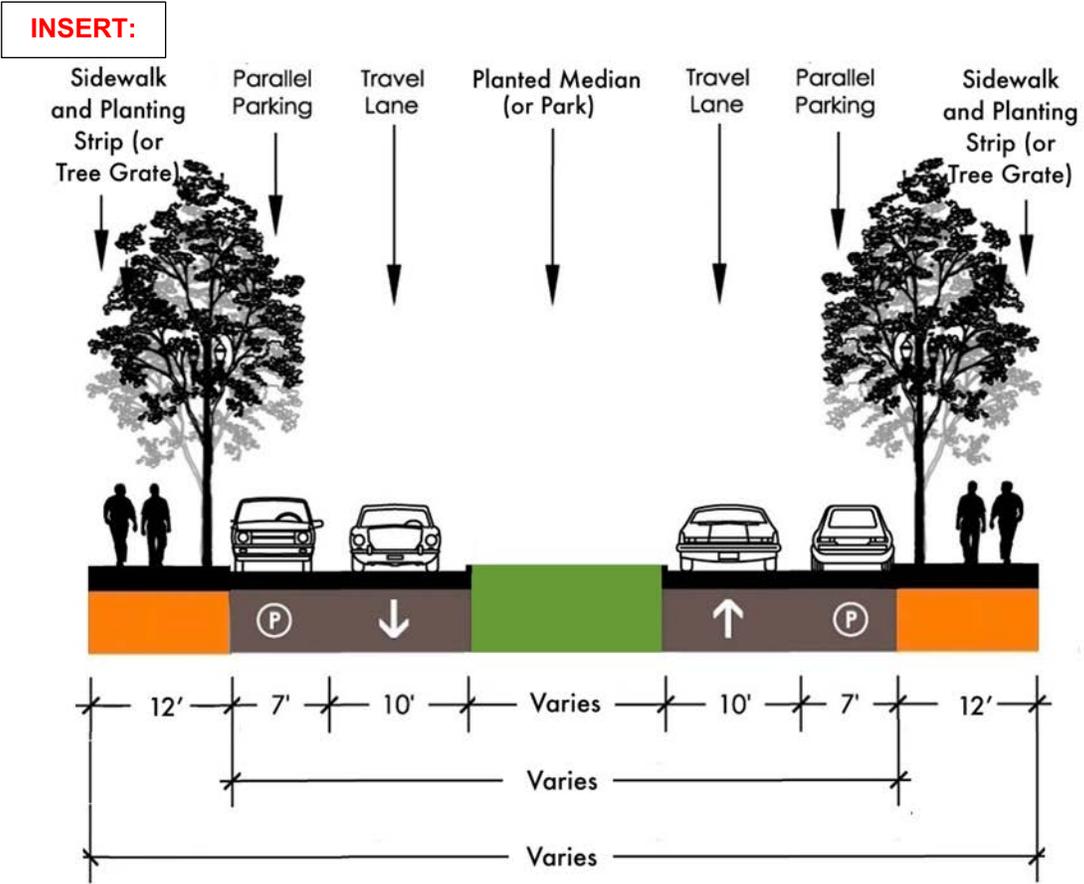


Figure 18.3.2.060.A.1.b. Central Boulevard With Median
(Owned/Maintained by HOA)

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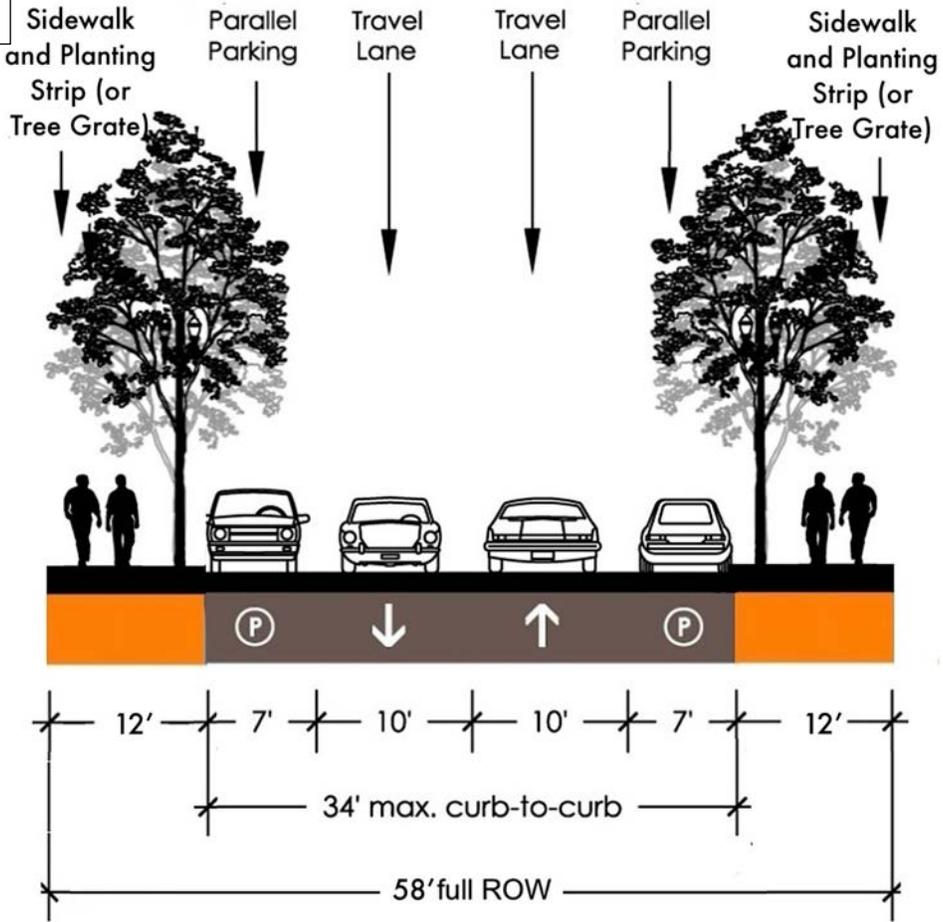


Figure 18.3.2.060.A.1.c. Central Boulevard (no median)

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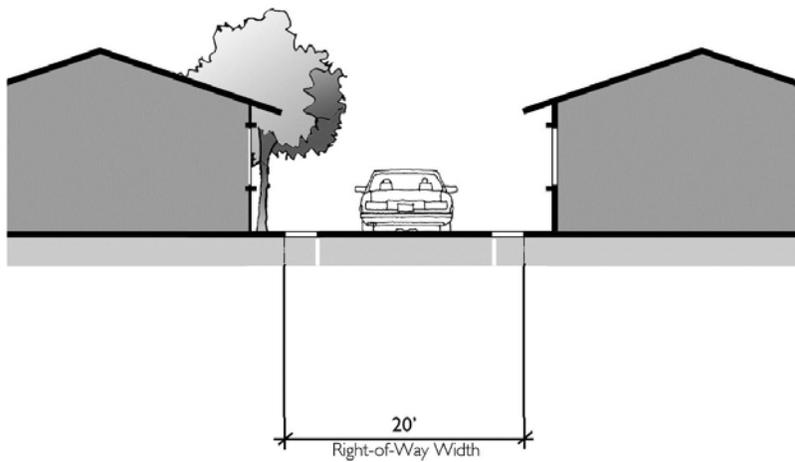


Figure 18.3.2.060.A.1.d. Alley

2. Phased Street Plan. Build-out of the central boulevard can be accommodated through a phased development plan.

a. Phase I implementation will require the following.

i. Maintain the existing Mistletoe Road alignment from Tolman Creek Road to the northwest corner of the Croman Mill site as illustrated in Figure 18.3.2.060.2.a.i.

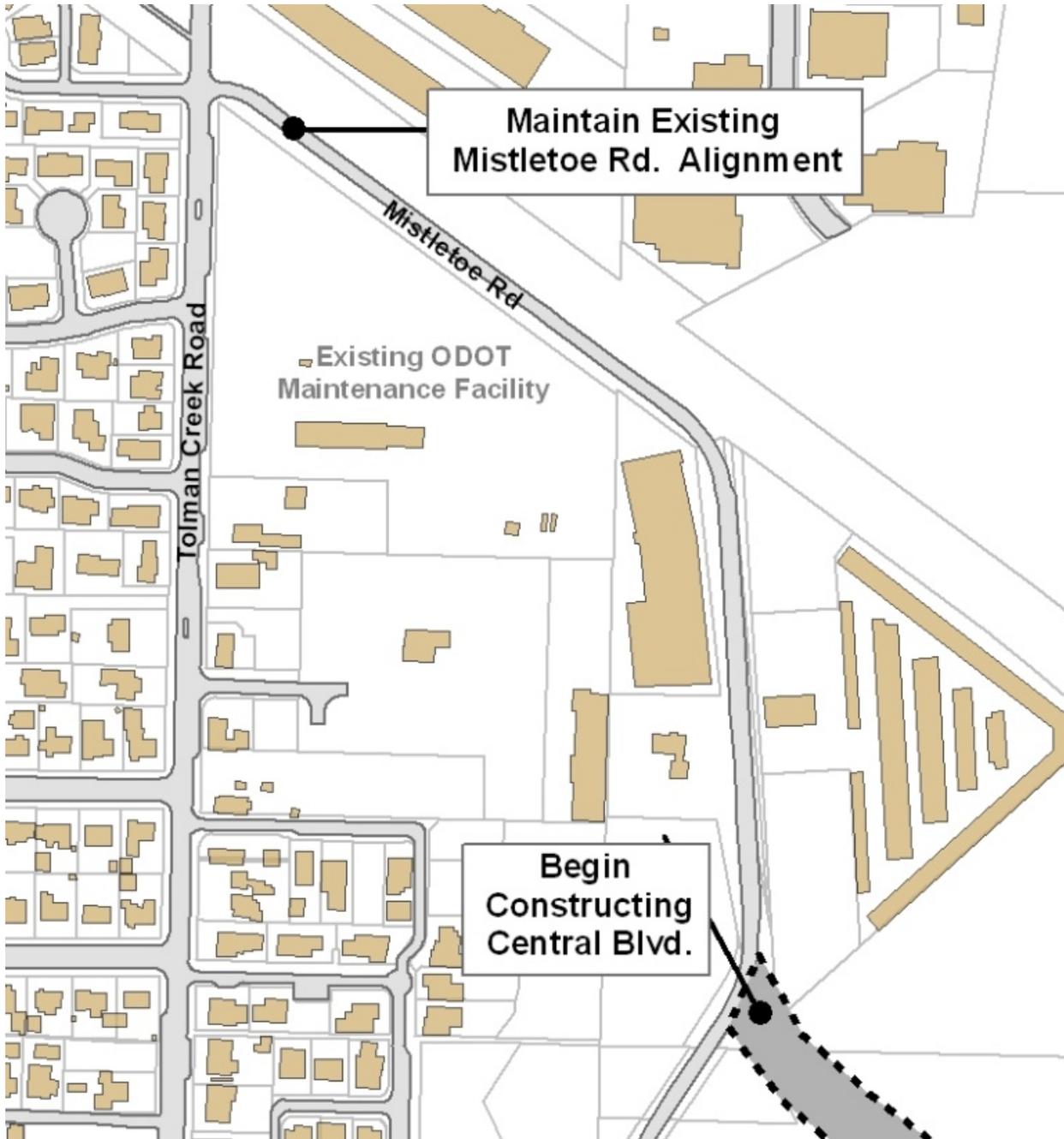


Figure 18.3.2.060.2.a.i. Phase I Central Boulevard

ii. Include **developer-constructed [TBD]** minor improvements to the existing portion of Mistletoe Road such as a minimum six-foot wide sidewalk on the north side of the street, two 11-foot travel lanes and the addition of a left-turn pocket at the intersection with Tolman Creek Road.

iii. A developer-constructed three-lane central boulevard from the northwest corner of the district to Siskiyou Boulevard.

b. Phase II implementation will require the following. See Figure 18.3.2.060.2.b.

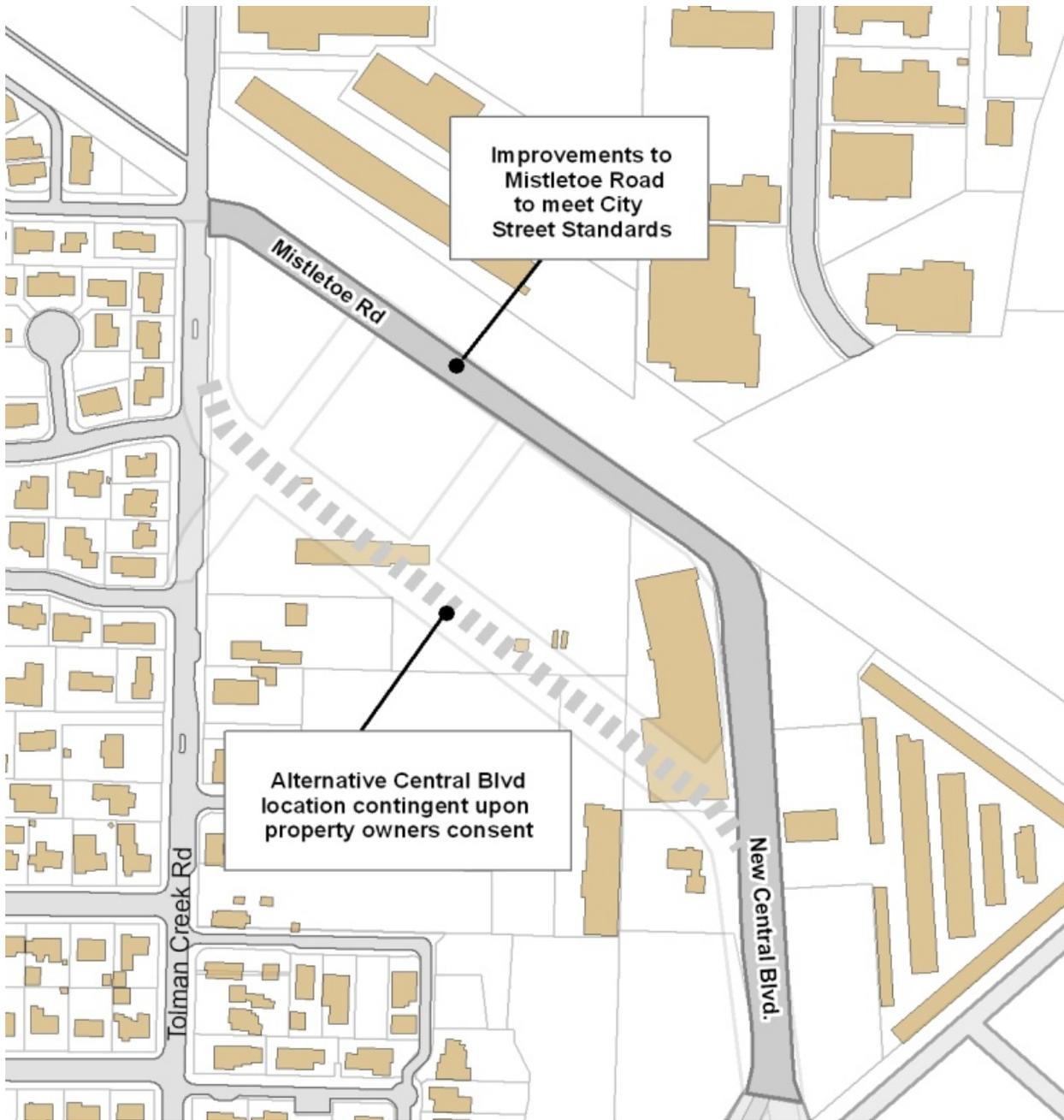


Figure 18.3.2.060.2.b. Phase II Central Boulevard Alternatives

i. Options addressing the street configuration and intersection geometry will be evaluated with the final design of the central boulevard. Final street configuration may involve a modification in the central boulevard cross section (e.g., deletion of street parking lanes) to address limitations to right of way width (e.g., existing buildings). [UNNECESSARY]

ii. The proposed modification alternative central boulevard location and realignment of Tolman Creek Road is contingent upon property owners' consent, and future sale and relocation of the existing ODOT maintenance yard.

3. Tolman Creek Road Realignment. Additional traffic will be generated by the redevelopment of the Croman Mill District. The alternative central boulevard location includes the realignment of Tolman Creek Road with the central boulevard to discourage non-local through traffic in the Tolman Creek neighborhood and in the Bellview School area as illustrated in Figure [18.3.2.060.A.3.a](#) and Figure [18.3.2.060.A.3.b](#). The modifications to the street network will preserve

neighborhood character and address impacts to the neighborhood by directing traffic away from the neighborhood and Bellview School, and toward the Croman Mill District while maintaining access to Tolman Creek Road for neighborhood-generated trips as illustrated in Figure 18.3.2.060.A.3.c. Key elements of the realigned Tolman Creek Road include the following.

- a. Two through traffic lanes and a northbound turn lane.
- b. New traffic signal.
- c. Bike lanes.
- d. Sidewalks separated from auto traffic by landscaping and canopy trees.
- e. Landscaped neighborhood gateway.
- f. Evaluation of the intersection alignment of local streets with Tolman Creek Road including Takelma Way, Grizzly Drive and Nova Drive.

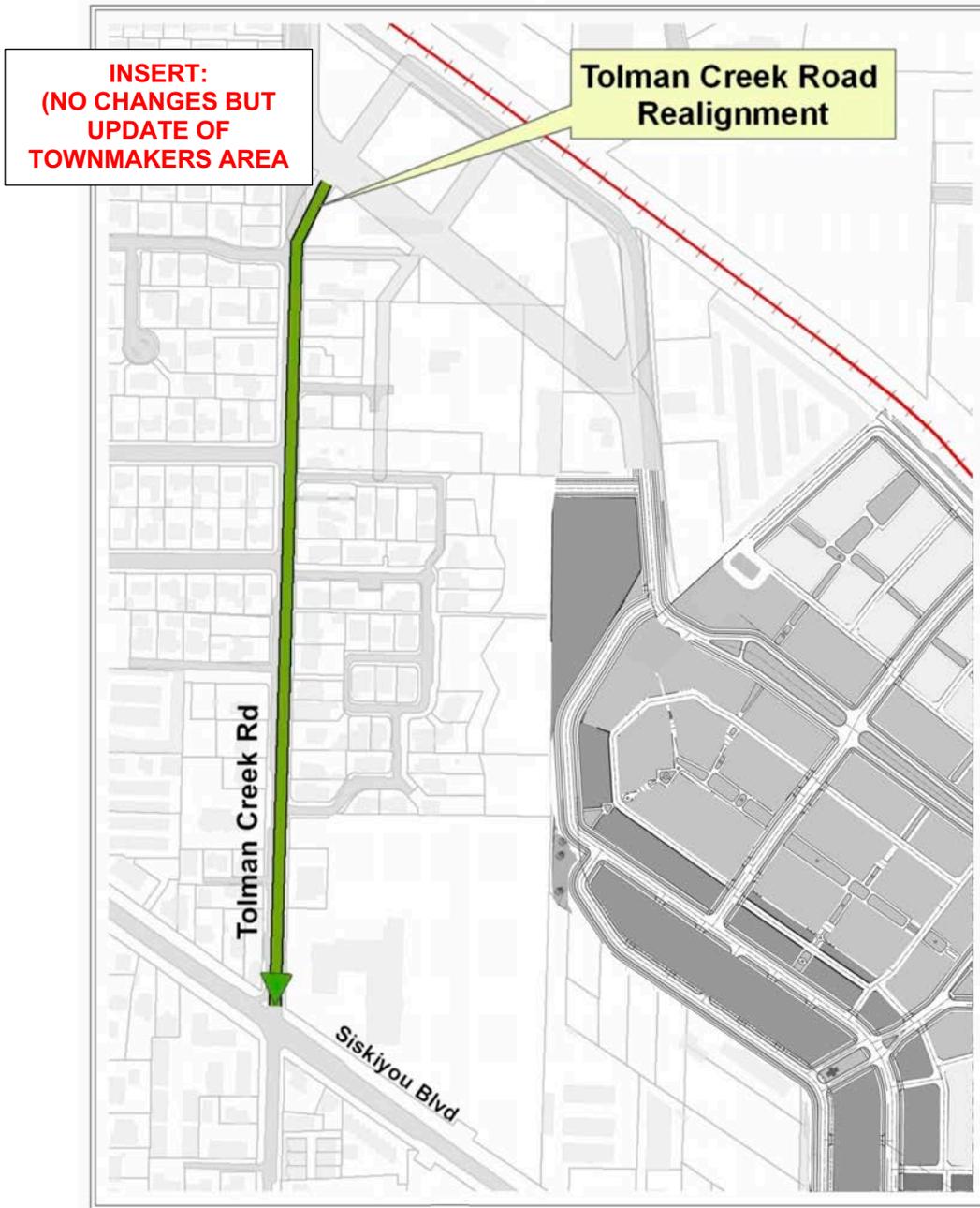


Figure 18.3.2.060.A.3.a. Central Boulevard Alternative Tolman Creek Road Realignment



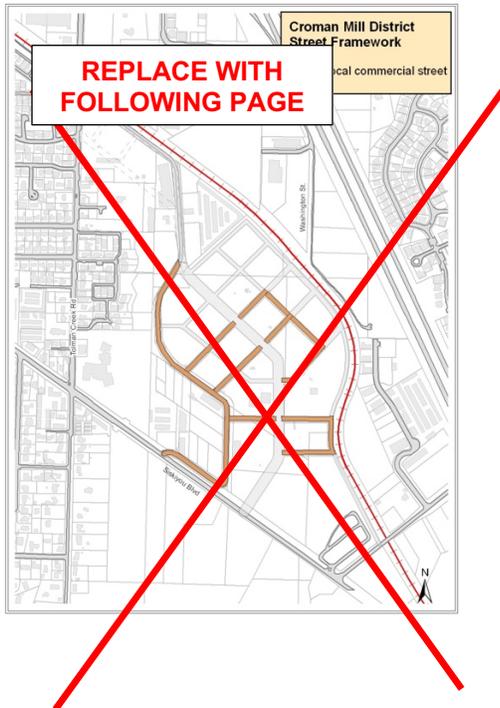
Figure 18.3.2.060.A.3.b. Tolman Creek Road Realignment



Neighborhood Center

Figure 18.3.2.060.A.3.c. Neighborhood Center

4. Local **Commercial** Streets. Local **commercial** streets provide district circulation to and from employment uses, residences, the Central Park, and the neighborhood center. See Local **Commercial** Street locations illustrated in Figure [18.3.2.060.A.4.a](#) and the street cross section in Figure [18.3.2.060.A.4.b](#).



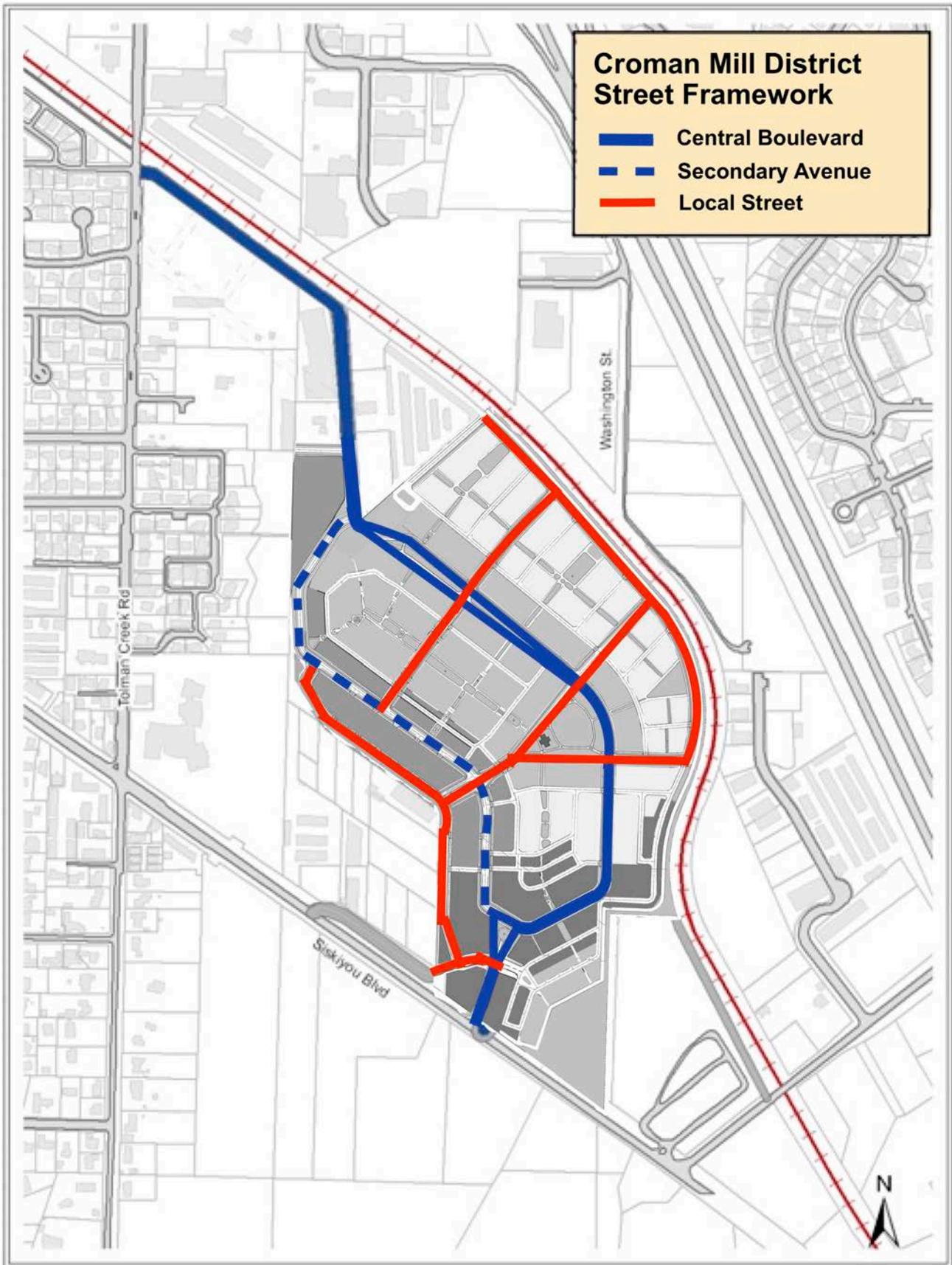


Figure 18.3.2.060.A.4.a. Street Framework: Local Streets

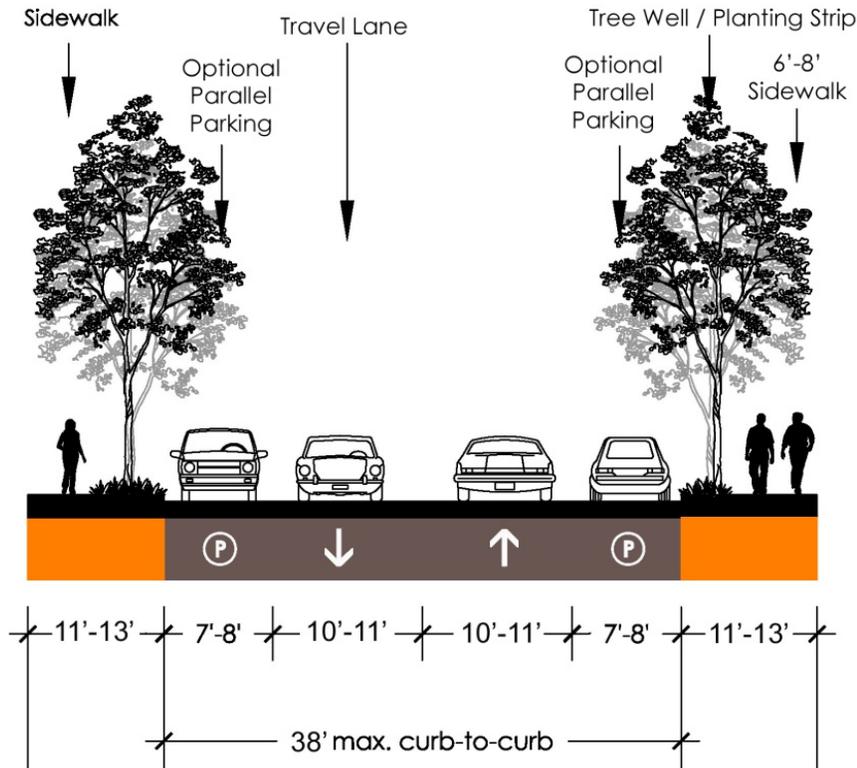


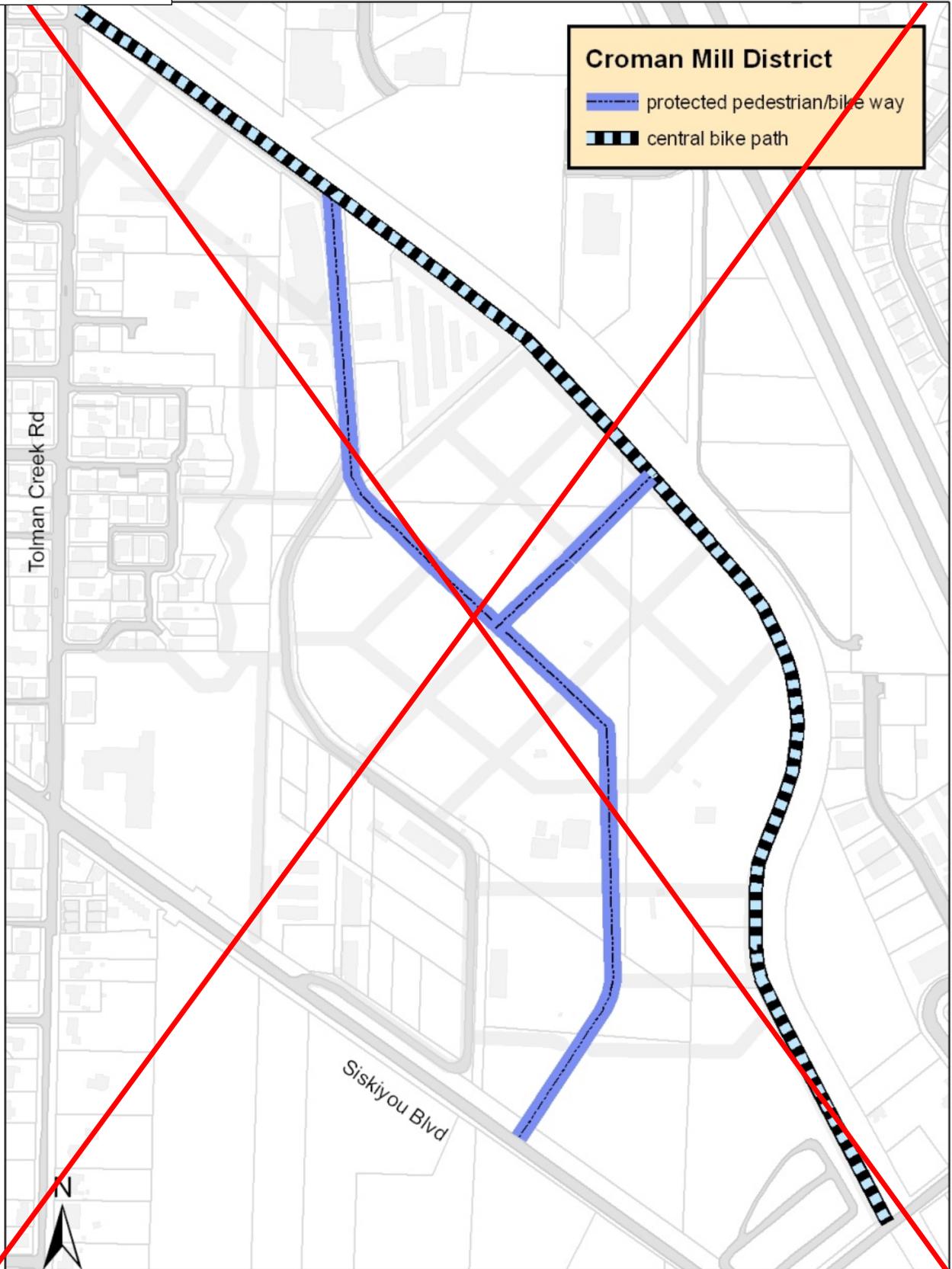
Figure 18.3.2.060.A.4.b. Local Street

5. **Protected Bike Lane.** The protected bike lane runs parallel to the central boulevard and connects with the City's existing Central Bike Path in two locations—adjacent to the Central Park and at the neighborhood center as illustrated in Figure 18.3.2.060.A.5.a. The design of the protected bike lane should include the following elements, as illustrated in Figure 18.3.2.060.A.5.b.

- a. A grade-separated two-way colored bicycle lane buffered from on-street parking by landscaping.
- b. A sidewalk separated from the bicycle lane by striping, bollard, grade separation or other treatments.
- c. Tabled intersections.
- d. Elimination of auto right turns on red at intersections.
- e. Incorporate rumble strips along the bike lane at the approaches to all intersections.
- f. Signage, lighting or other treatments to alert drivers, pedestrians, and riders approaching intersections.
- g. Consideration of a bikes-only signal phase at signalized intersections.

[BIKES WILL BE ALLOWED ON SLOW-MOVING STREETS THROUGHOUT AND ON HIKE AND BIKE PATHS – THIS SECTION IS NOT REQUIRED]

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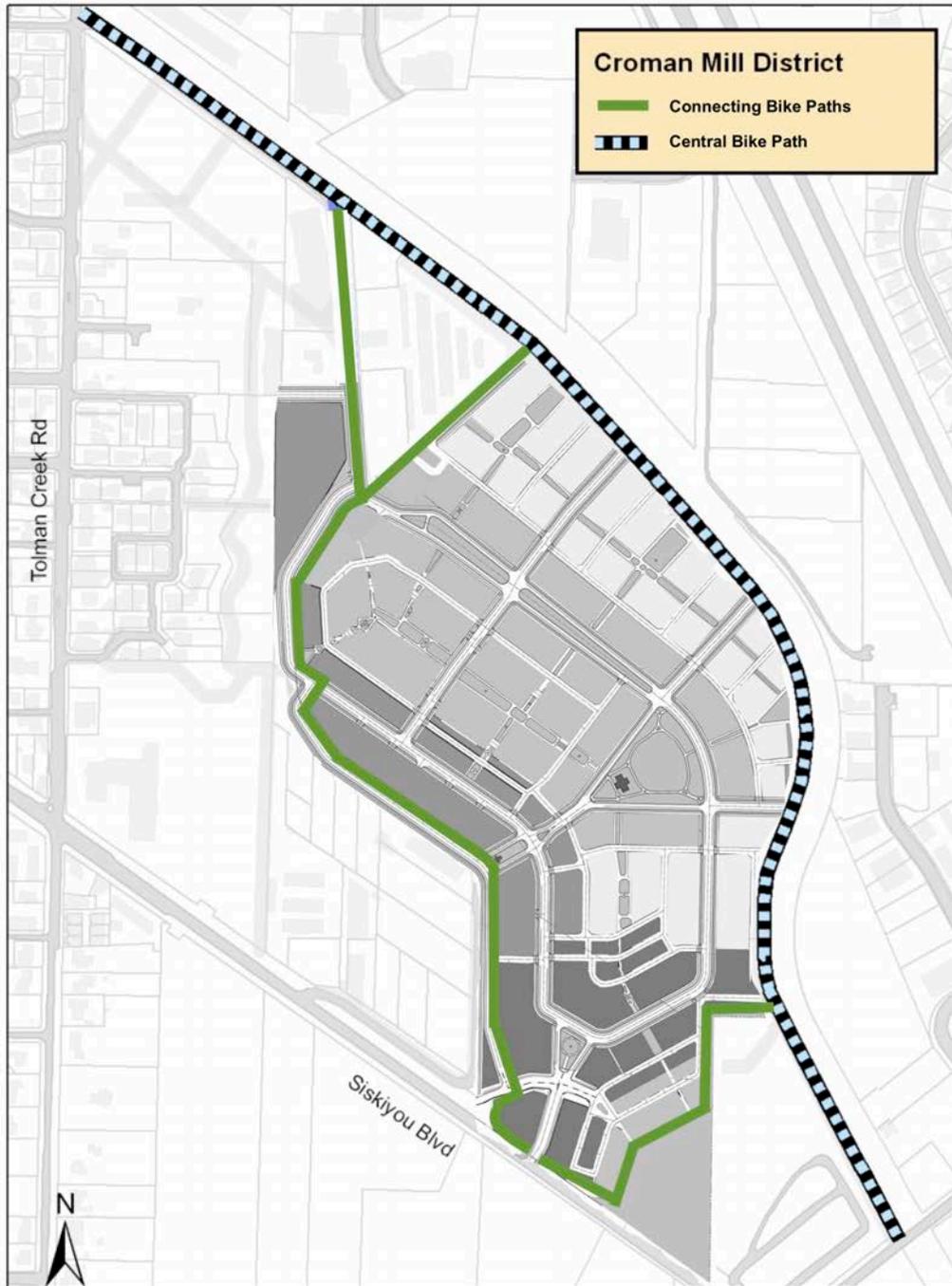


Figure 18.3.2.060.A.5.a. Bicycle Framework

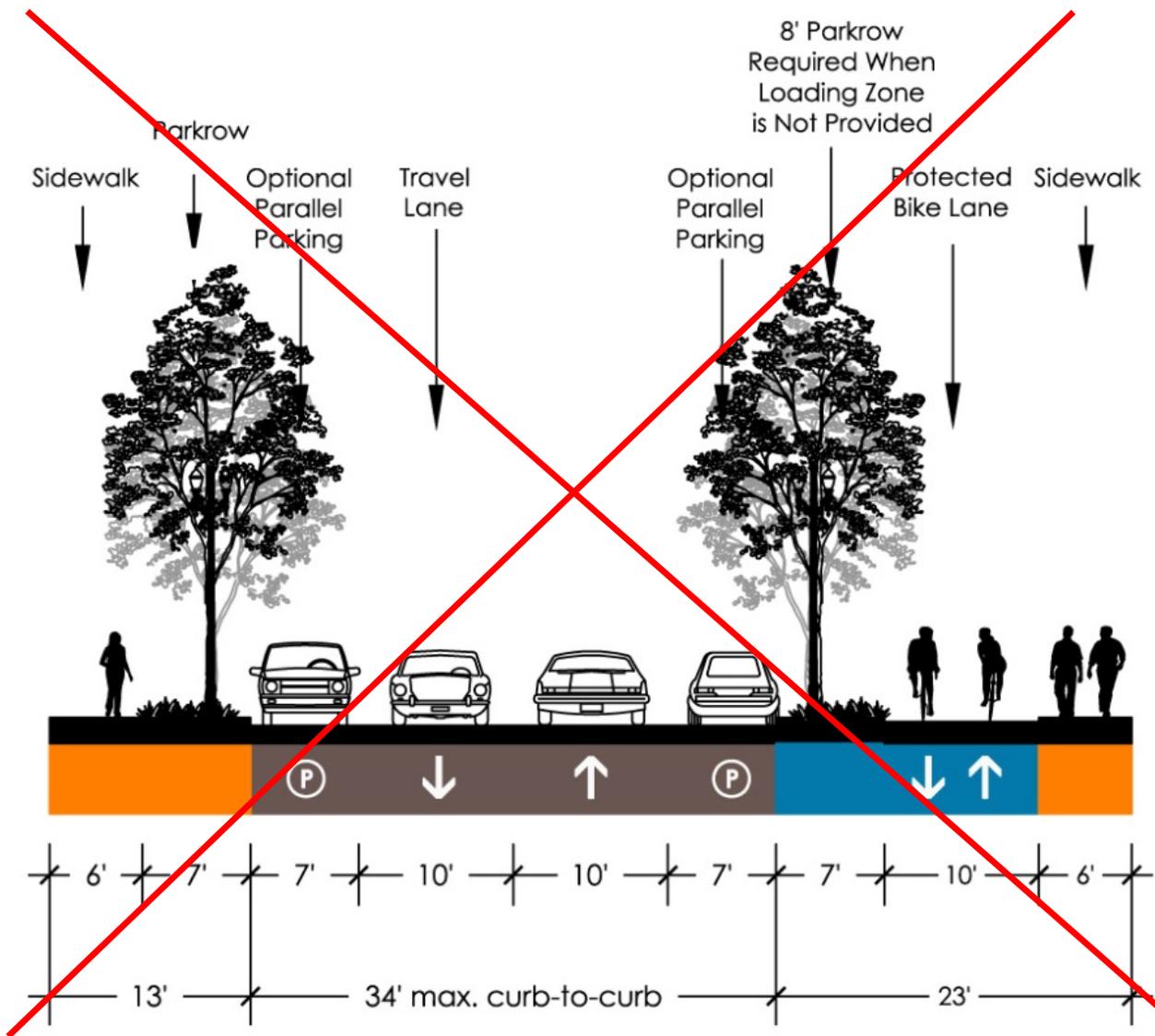


Figure 18.3.2.060.A.5.b. Protected Bike Lane

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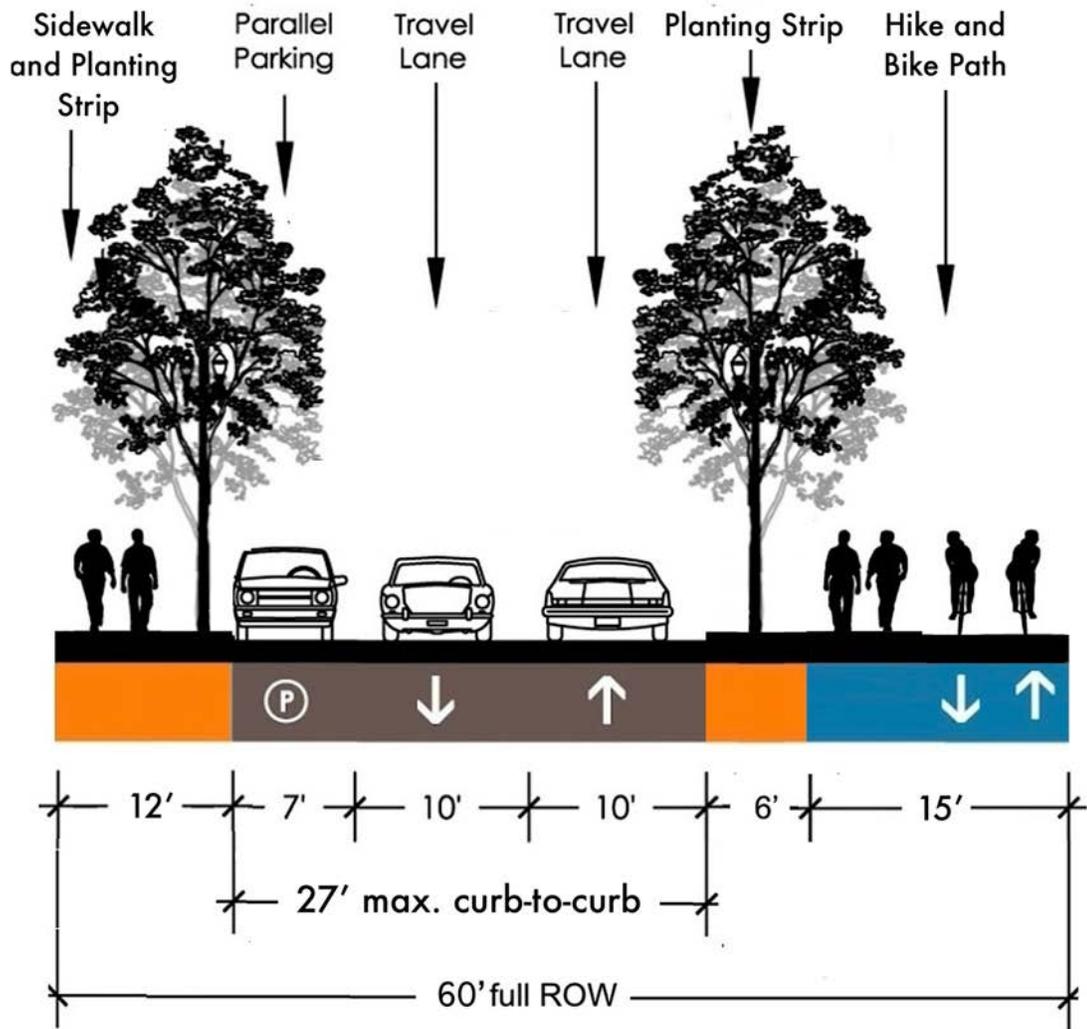


Figure 18.3.2.060.A.5.b. Protected Hike and Bike Lane (abutting railroad)

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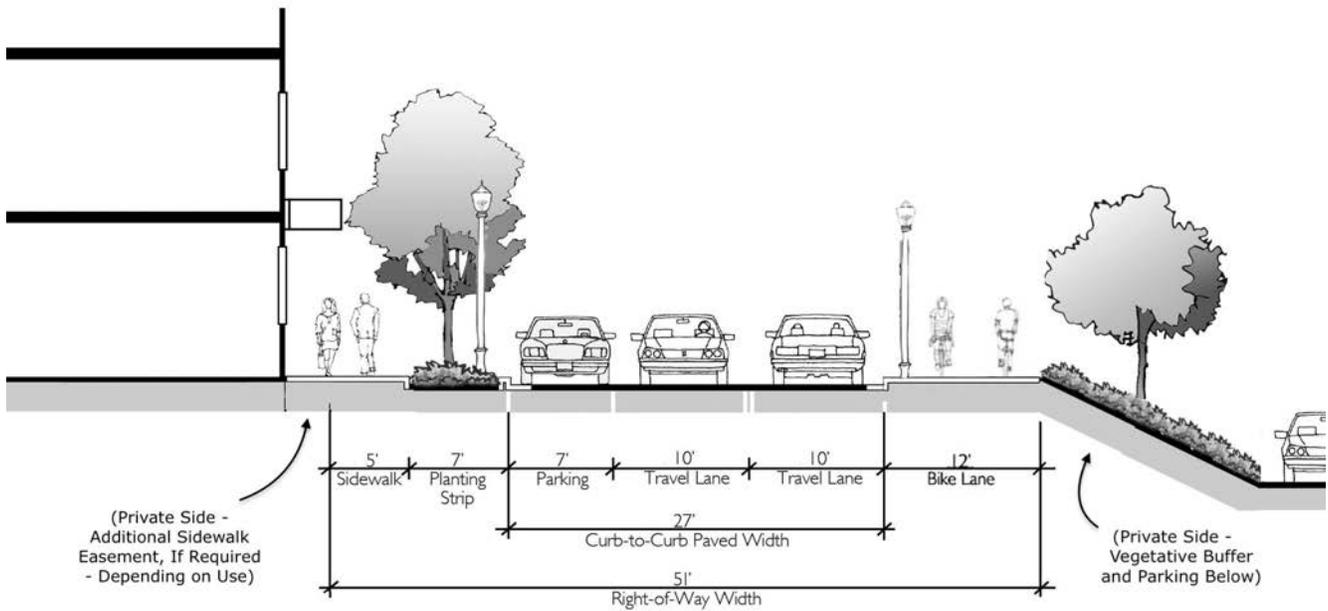


Figure 18.3.2.060.A.5.c. Protected Bike Lane (Mistletoe Road)

6. **Multi-Use Paths and Bike Paths.** The multi-use paths provide pedestrian and bicycle connections between the district and adjacent neighborhood, employment, and commercial areas as illustrated in Figure 18.3.2.060.A.6.a. The plan includes extension of the Central Bike Path and establishment of the Hamilton Creek Greenway trail. The Central Bike Path extends the existing multi-use path along the southern edge of the CORP rail line within a 20-foot wide dedicated easement 15-foot wide dedicated easement, plus a 6 foot planting strip buffer (see Figure 18.3.2.060.A.6.b) and serves as a viable commuter route and link to the downtown. The Hamilton Creek Greenway trail provides access to the neighborhood center and an east/west connection across the creek. See the multi-use path and Central Bike Path cross sections in Figure 18.3.2.060.A.6.c, Figure 18.3.2.060.A.6.d, and Figure 18.3.2.060.A.6.e. In addition, a 12 foot bike path will extend along the east of the existing Mistletoe Road, with connecting segments to the Central Bike Path and to Siskiyou Boulevard, as shown in Figure 18.3.2.060.A.5.a and Figure 18.3.2.060.A.5.a.

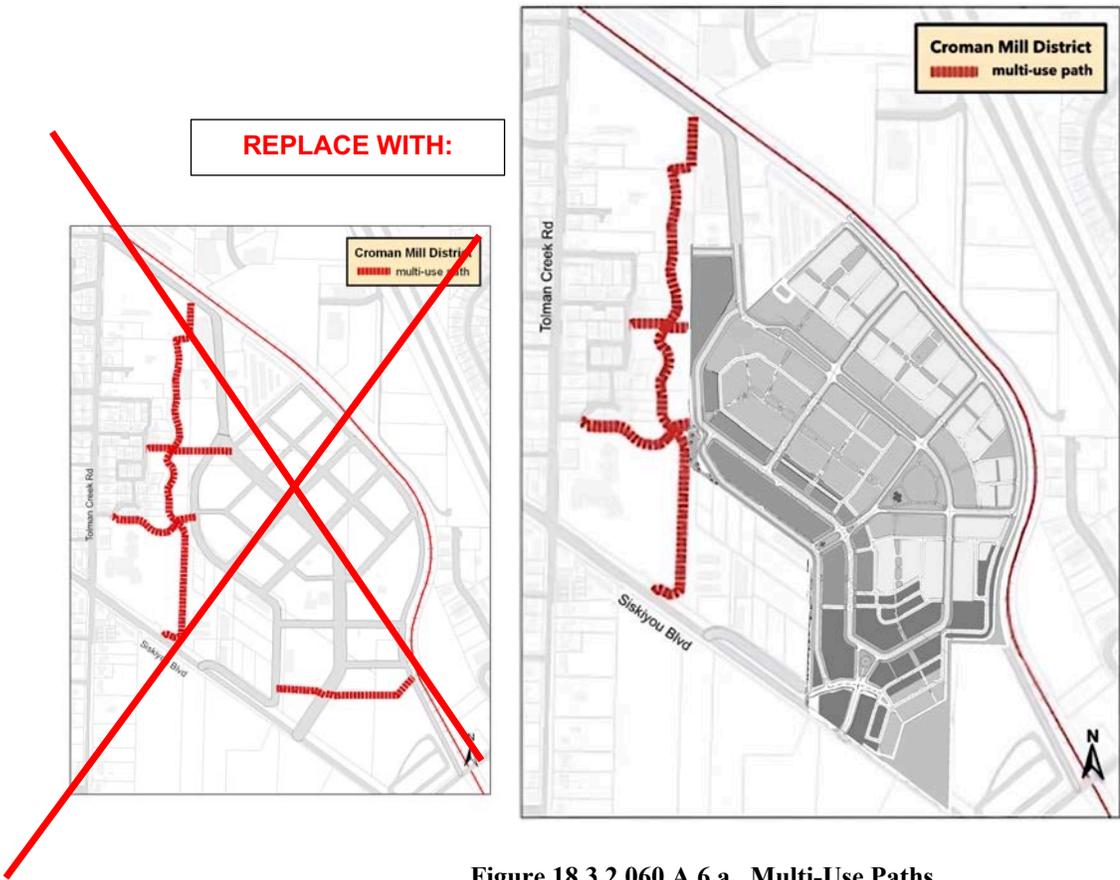


Figure 18.3.2.060.A.6.a. Multi-Use Paths

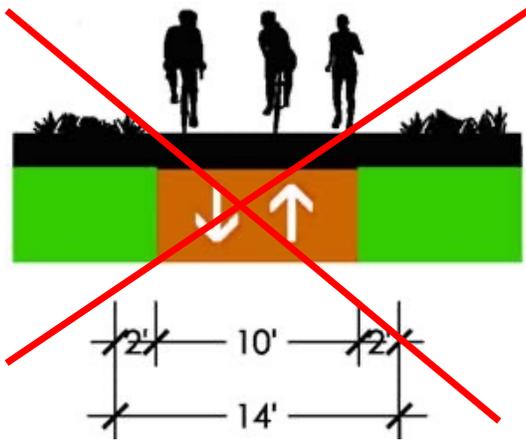


Figure 18.3.2.060.A.6.b. Central Bike Path [NOT RELEVANT TO NEW PLAN]



Figure 18.3.2.060.A.6.c. Multi-Use Path

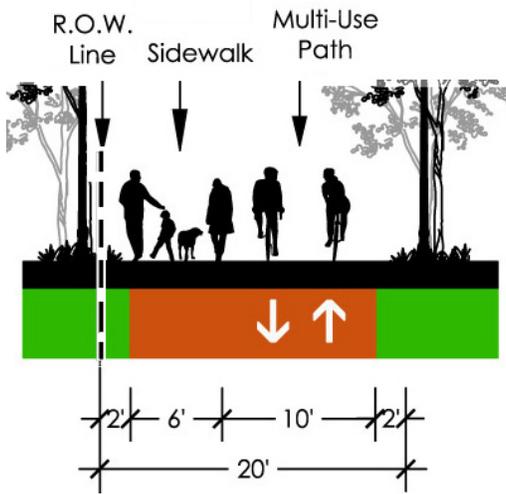


Figure 18.3.2.060.A.6.d b. ~~Central Bike Path~~ Multi-Use Path

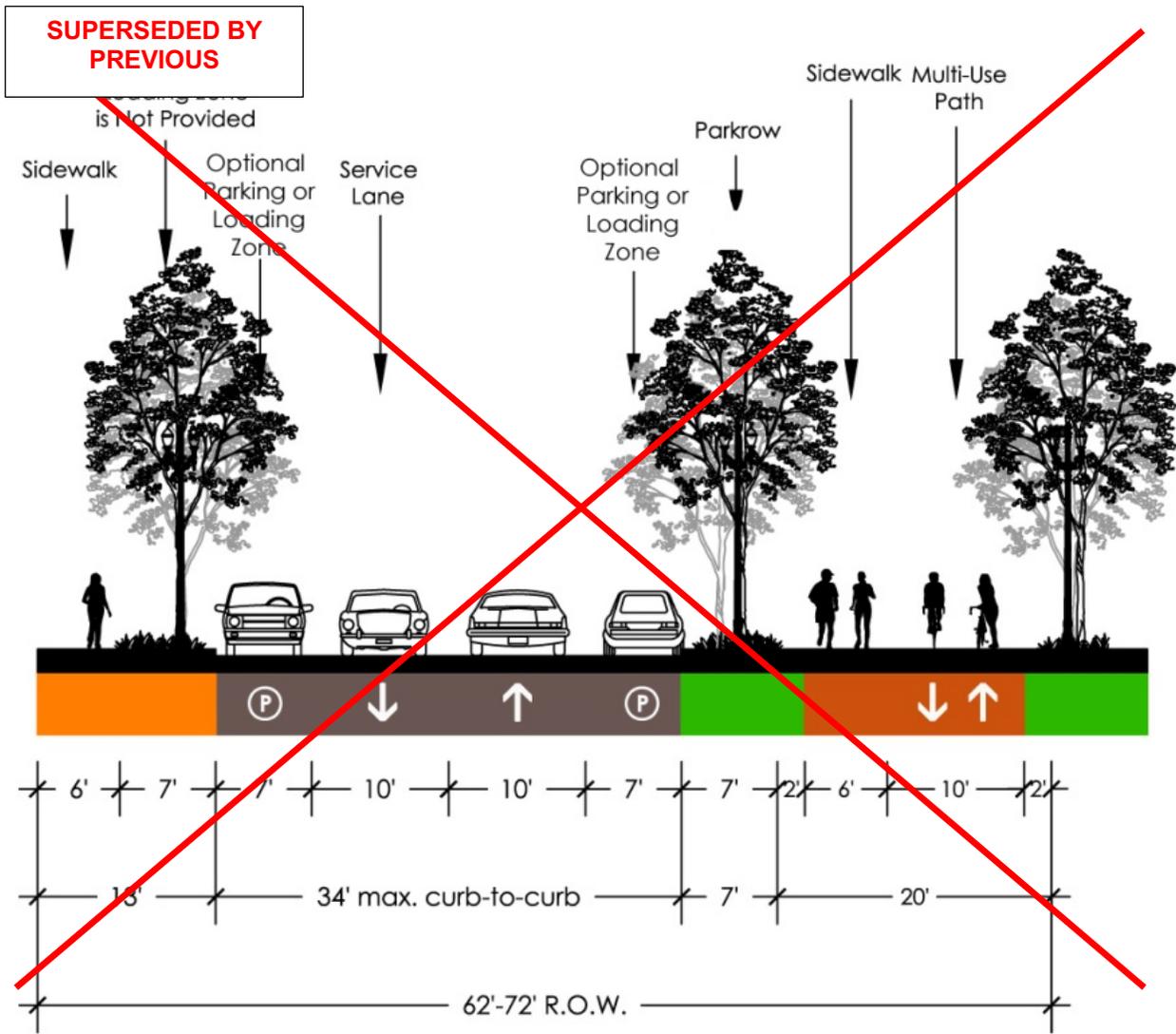


Figure 18.3.2.060.A.6.c. Central Bike Path at Accessway

7. **Accessways.** Accessways are intended to balance circulation needs of pedestrians, bicycles, and vehicular access, and to preserve the grid that encourages development of a form that is of human scale and proportion. Accessways connect the central boulevard to the Central Bike Path and allow for shared bicycle, travel lanes, optional on-street parking, and temporary loading zones as necessary to serve development sites. See accessway locations in Figure 18.3.2.060.A.7.a and cross sections in Figure 18.3.2.060.A.7.b, and Figure 18.3.2.060.A.7.c.

[NOT RELEVANT IN NEW PLAN]

7. **Shared Streets.** Shared streets are intended to balance circulation needs of pedestrians, bicycles, and vehicular access, and to preserve the grid that encourages development of a form that is of human scale and proportion. Shared streets connect the central boulevard to the Central Bike Path and allow for shared bicycle, travel lanes, optional on-street parking, and temporary loading zones as necessary to serve development sites.

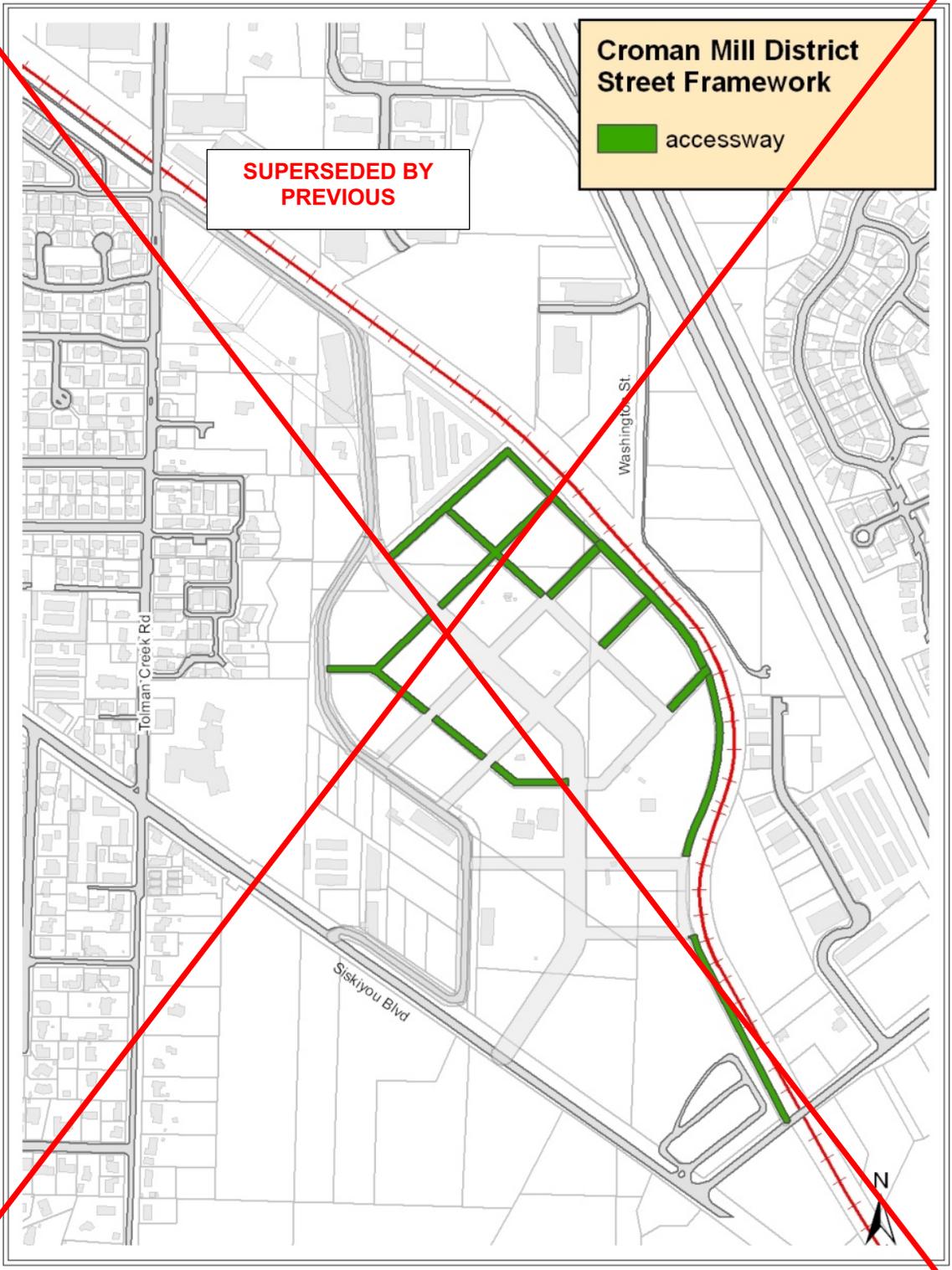


Figure 18.3.2.060.A.7.a. Street Framework SEE

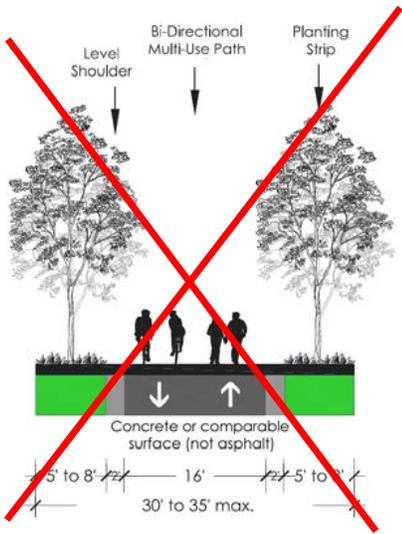
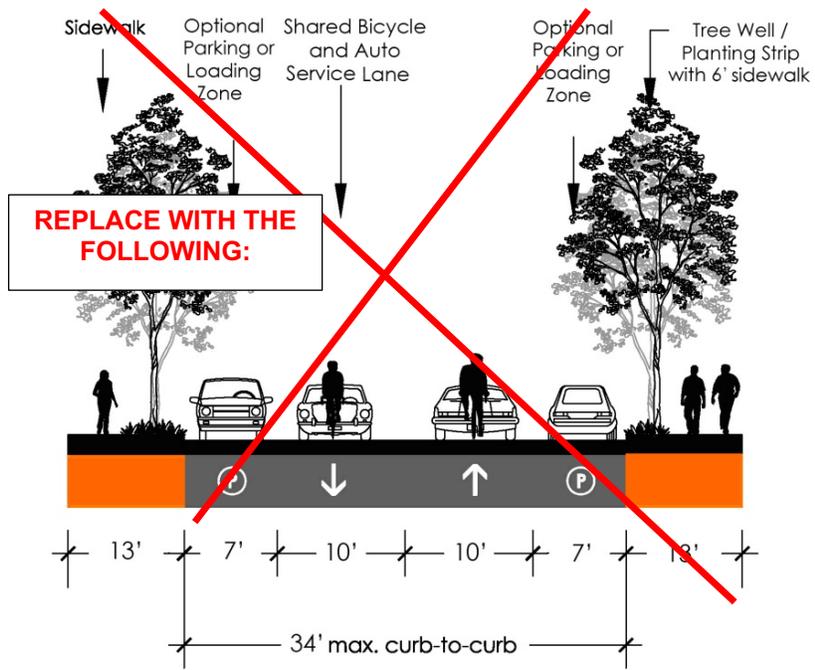


Figure 18.3.2.060.A.7.b. Accessway: Multi-Use Path Option



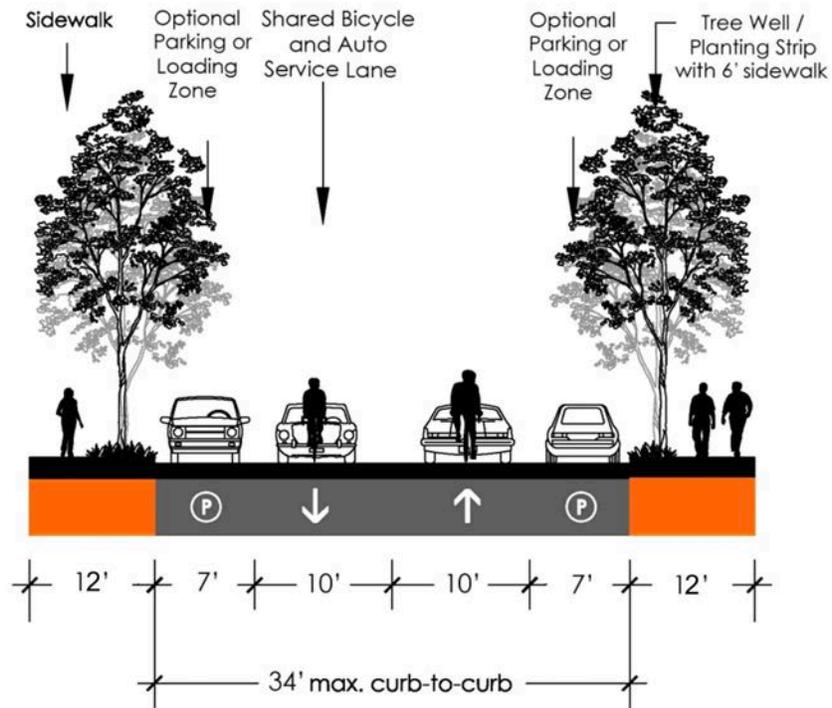
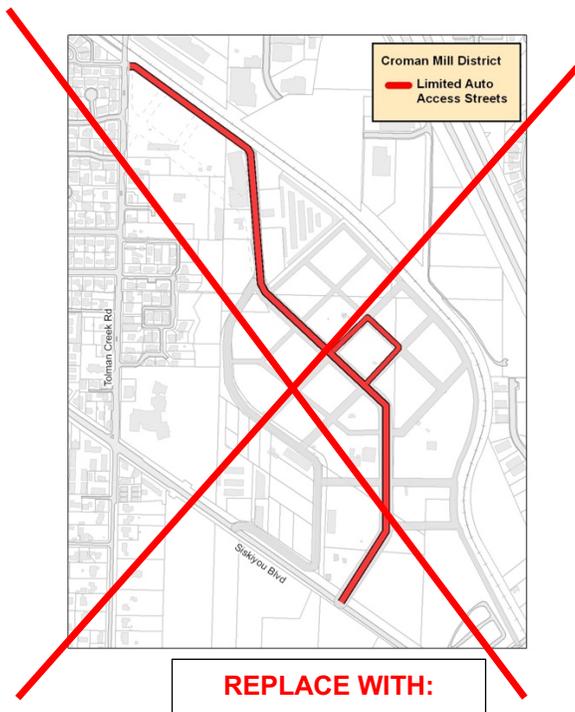


Figure 18.3.2.060.A.7.e a. **Accessway: Shared Street Option**

8. Limited Auto Access Streets. Developments abutting the central boulevard and the Central Park shall not have curb cuts through the sidewalk and the protected bike lane on the limited auto access streets. See Figure [18.3.2.060.A.8](#) for locations of limited auto access streets. A modification of a driveway access location in a manner inconsistent with the Croman Mill District Standards requires a minor amendment in accordance with subsection [18.3.2.030.B](#).



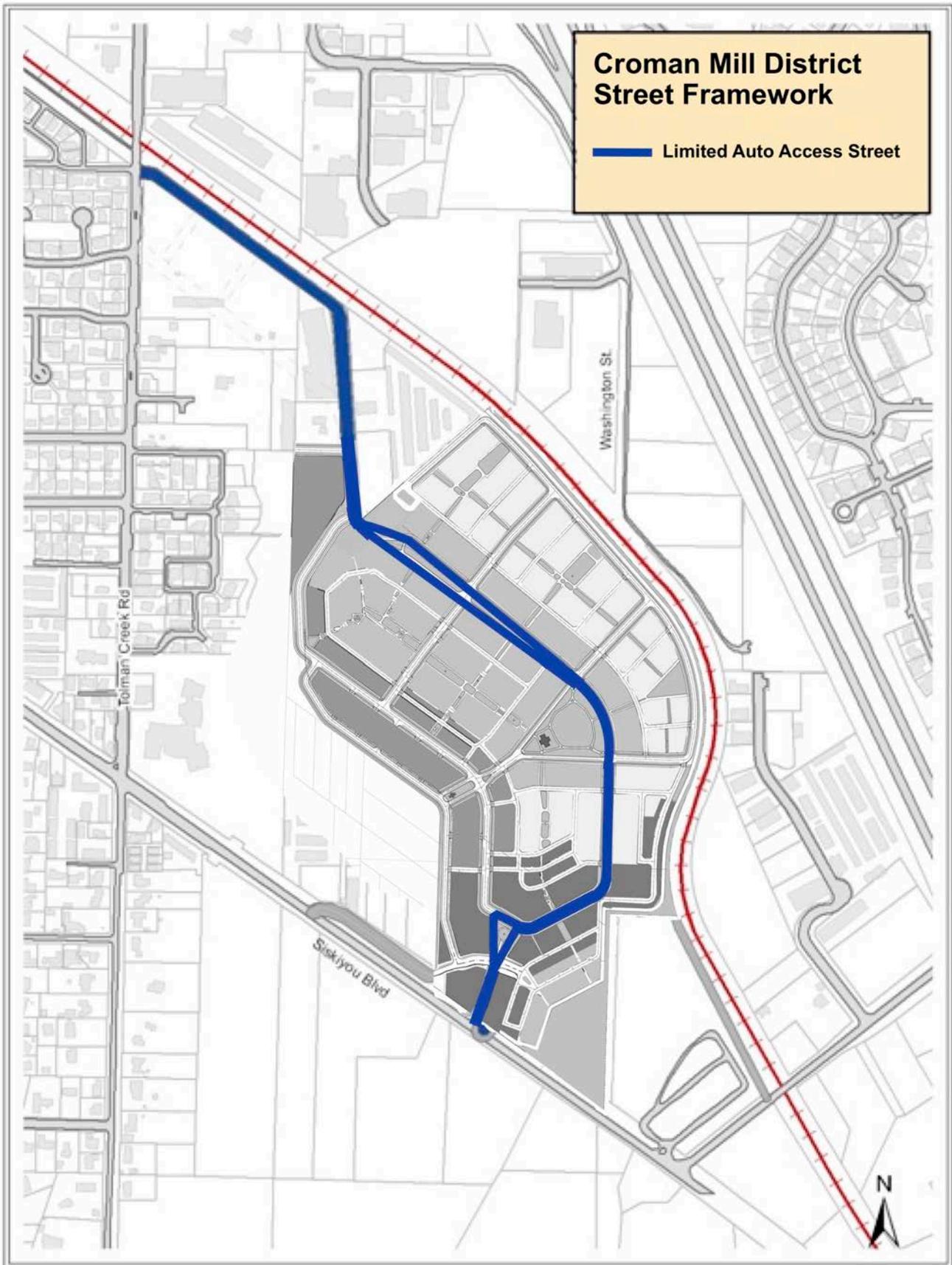


Figure 18.3.2.060.A.8. Limited Auto Access Street

9. Access – General Standards. Street and driveway access points in the Croman zones shall be limited to the following.

a. Distance Between Driveways

On Collector Streets – 75 feet

On Local Streets and Accessways – 50 feet

b. Distance from Intersections

On Collector Streets – 50 feet

On Local Streets and Accessways – 35 feet

10. Shared Access. All lots shall provide a shared driveway aisle to abutting parking areas that is at least 20 feet in width. The applicant shall grant a common access easement across the lot. If the site is served by a shared access or alley, access for motor vehicles must be from the shared access or alley and not from the street frontage.

~~11. On Street Parking. On street parallel parking may be required along the central boulevard and local streets as illustrated in Figure [18.3.2.060.A.10](#). If on street parking is required on streets identified on the On Street Parking map, angled parking and loading zones are prohibited on these streets. Options addressing the street configuration will be evaluated with the final design of the streets identified on the On Street Parking map.~~

[NOT RELEVANT IN NEW PLAN - On-street parking is included on all streets, and diagonal or head-in will be determined in final street design as agreed by the City.]



Figure 18.3.2.060.A.10. On Street Parking

B. Site and Building Design Standards. The Croman Mill District Design Standards provide specific requirements for the physical orientation, uses, and arrangement of buildings; the management of parking; and access to development parcels. Development located in the Croman Mill District shall be designed and constructed consistent with the following design standards. ~~Additional design standards apply and are specified for developments located adjacent to an active edge street, or that are located within the NC, MU, and OE zones.~~ A site layout, landscaping, or building design in a manner inconsistent with the Croman Mill District Design Standards requires a minor amendment in accordance with subsection [18.3.2.030.C](#).

1. Building Orientation and Scale – General Requirements. The following standards apply to all buildings, except the Staff Advisor may waive one or more of the following where a building is not adjacent to an active edge street and is not accessed by pedestrians, such as warehouses and industrial buildings without attached offices:

- a. Buildings shall have their primary orientation toward the street rather than the parking area. Building entrances shall be oriented toward the street and shall be accessed from a public sidewalk.
- b. All front doors must face streets and walkways. Where buildings are located on a corner lot, the entrance shall be oriented toward the higher order street or to the lot corner at the intersection of the streets.
- c. Buildings on corner lots shall be located as close to the intersection corner as practicable.
- d. Public sidewalks shall be provided adjacent to a public street along the street frontage.
- e. Building entrances shall be located within ten feet of the public right-of-way to which they are required to be oriented. Exceptions may be granted for topographic constraints, lot configuration, designs where a greater setback results in an improved access or for sites with multiple buildings where this standard is met by other buildings. The entrance shall be designed to be clearly visible, functional, and shall be open to the public during all business hours.
- f. Automobile circulation or parking shall not be allowed between the building and the right-of-way.
- g. Buildings shall incorporate lighting and changes in mass, surface or finish giving emphasis to entrances.

2. Building Orientation and Scale – Additional Requirements Adjacent to Active Edge Street or Within NC, MU or OE Zones. Where development is adjacent to an active edge street as illustrated in Figure 18.3.2.060.B.2, or is within a NC, MU or OE zone, it shall conform to all of the following standards:

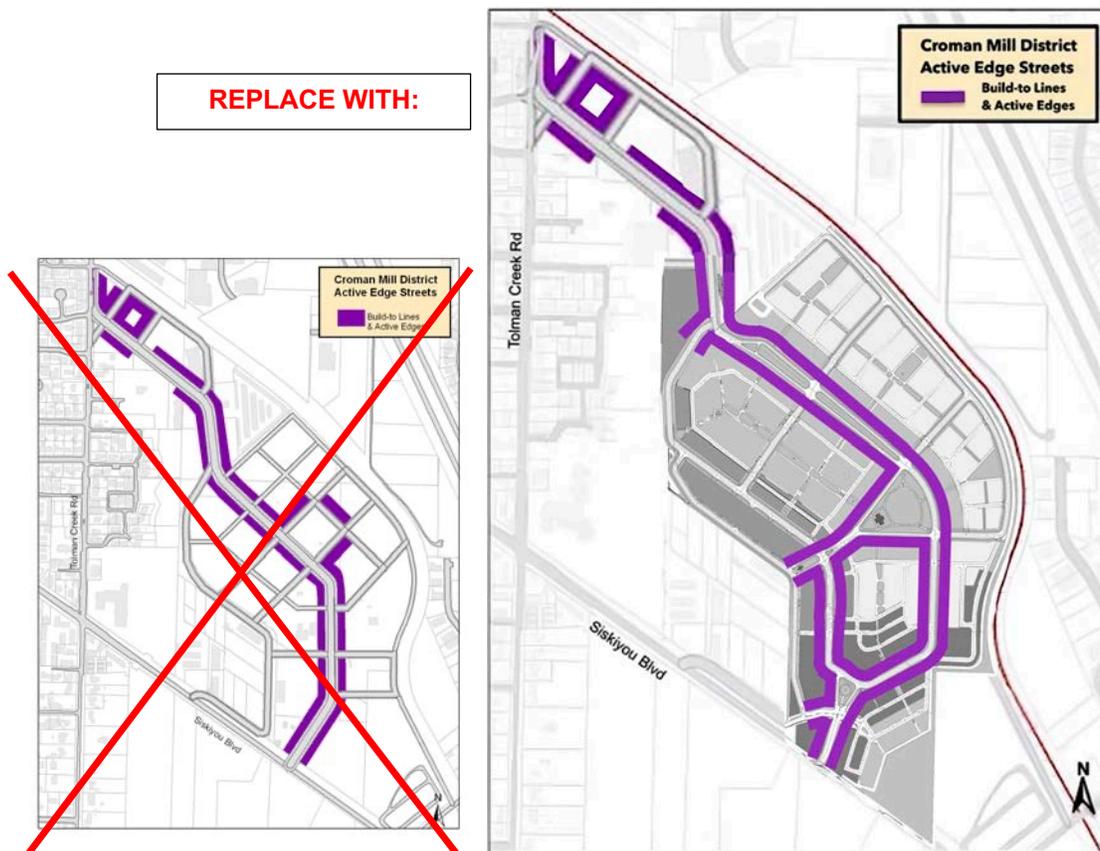


Figure 18.3.2.060.B.2. Active Edge Streets

- a. **Commercial** buildings shall be set back not more than ten feet from a public sidewalk unless additional setback area is used for pedestrian entries, such as alcoves, or for pedestrian activities such as plazas or outside eating areas. This standard shall apply to both street frontages on corner lots. If more than one structure is proposed for a site, at least 65 percent of the aggregate building frontage shall be within ten feet of the sidewalk.
 - b. **Commercial** building frontages greater than 100 feet in length shall have offsets, jogs or have other distinctive changes in the building façade.
 - c. Buildings shall incorporate arcades, roofs, alcoves, porticoes, and awnings that protect pedestrians from the rain and sun.
 - d. **Commercial** buildings shall incorporate display areas, windows, and doorways as follows. Windows must allow view into working areas or lobbies, pedestrian entrances, or displays areas. Blank walls within 30 feet of the street are prohibited.
 - e. At least 50 percent of the first-floor façade **of commercial buildings** is comprised of transparent openings (clear glass) between three and eight feet above grade.
3. Building Orientation for Within the NC, MU, and OE Zones, and Not Adjacent to an Active Edge Street. Any wall that is within 30 feet of the street, plaza or other park or common open space shall contain at least 20 percent of the wall area facing the street in display areas, windows, or doorways. Up to 40 percent of the length of the building perimeter can be exempted for this standard if oriented toward loading or service areas.
4. Parking Areas and On-Site Circulation. Except as otherwise required by this chapter, automobile parking, loading, and circulation areas shall comply with the requirements of part [18.4](#), Site Development and Design Standards, and the following standards:
- a. Primary parking areas shall be located behind buildings with limited parking on one side of the building, **except that parking shall be located behind buildings only** where development is adjacent to an active edge street **or is within a NC, MU or OE zone.**
 - b. Parking areas shall be shaded by deciduous trees, buffered from adjacent non-residential uses and screened from non-residential uses.
 - c. **Parking stalls within the R-MU and CIC-MU subzones may use a stabilized, tackifier-bound gravel system meeting ADA accessibility requirements and preventing gravel migration into stormwater systems. The gravel will consist of angular crushed granite compacted to 95% Proctor, sealed with an environmentally safe polymer binder, and contained with edge restraints. This system provides a stable, firm surface, reduces impervious surface area, and aligns with the ecological, low-impact development goals of the City of Ashland.**
5. Streetscapes. One street tree chosen from the street tree list shall be placed for each 30 feet of frontage for that portion of the development fronting the street. Street trees shall meet the standards of section [18.4.4.030](#), Landscaping and Screening. Developments adjacent to active edge streets or within NC, MU, and OE zones shall utilize hardscape (paving material) to designate people areas. Sample materials could be unit masonry, scored and colored concrete, pavers, or combinations of these materials.
6. Building Materials. Buildings may not incorporate glass as a majority of the building skin, and bright or neon paint colors used extensively to attract attention to the building or use are prohibited.
7. Building Height Standards. All buildings shall have a minimum height, as indicated in the Building Height Requirements map and Table [18.3.2.050](#), Croman Mill Dimensional Standards, and shall not exceed the maximum height standards in that table, except as approved under subsection [18.3.2.060.C](#).
- a. Street Wall Height. Maximum street wall façade height for the Croman Mill District for all structures located outside the Residential Buffer Zone is 50 feet.
 - b. Upperfloor Setback. Buildings taller than 50 feet must step back upper stories, beginning with the fourth story, by at least six feet measured from the façade of the street wall facing the street, alleyway, park or common open space.

c. Residential Buffer Zone. All buildings in the Croman Mill District within the Residential Buffer Zone (see Figure [18.3.2.060.B.7.c](#)) shall meet the following height standards:

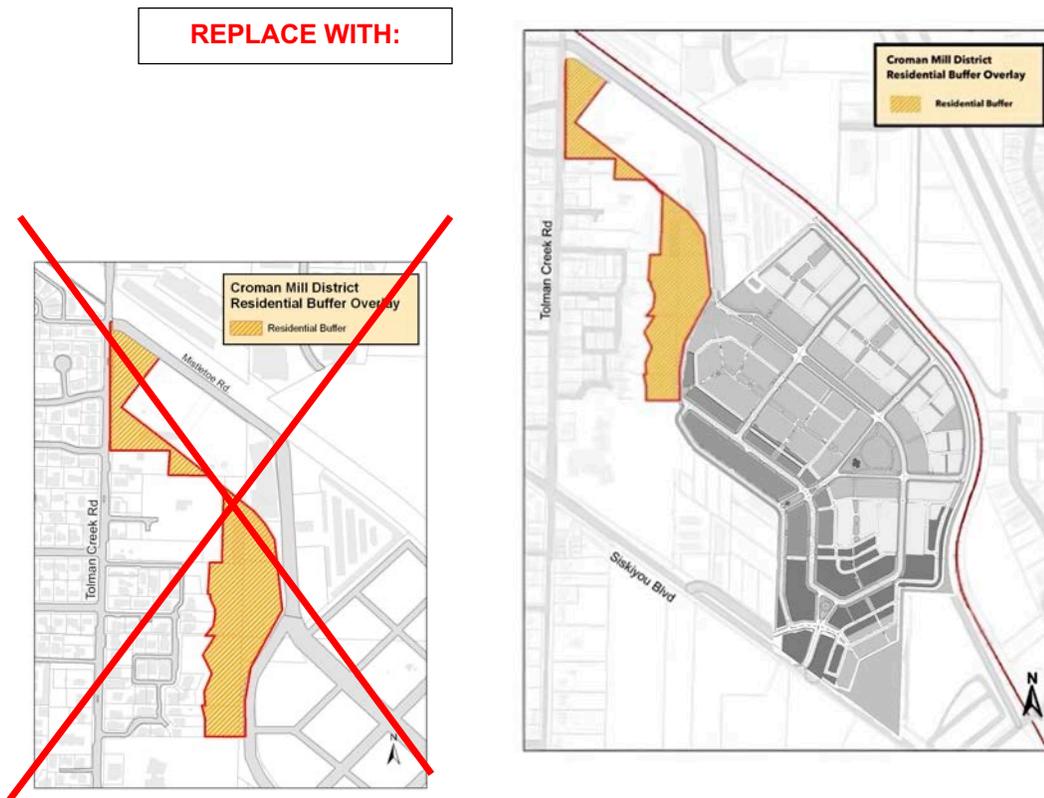


Figure 18.3.2.060.B.7.c. Residential Buffer Zone

i. Maximum Height. The maximum height allowance without a performance standards bonus for all structures within the Residential Buffer Zone is 35 feet in the NC zone and 40 feet in the MU and CIC-MU zones, and the maximum height with a bonus is 40 feet in accordance with subsection [18.3.2.060.C.13](#).

ii. Upper Floor Setback Requirements. Buildings taller than two stories must step back the third story by at least six feet measured from the façade facing the street, alleyway, park or common open space.

8. Design of Large-Scale Buildings. For buildings located adjacent to active edge streets, or within NC, MU, and OE Zones, the following architectural standards apply to buildings with a gross floor area greater than 10,000 square feet, a façade length in excess of 100 feet, or a height taller than 45 feet:

- a. On upper floors, use windows and/or architectural features that provide interest on all four sides of the building.
- b. Use recesses and projections to visually divide building surfaces into smaller scale elements.
- c. Use color or materials to visually reduce the size, bulk, and scale of the building.
- d. Divide large building masses into heights and sizes that relate to human scale by incorporating changes in building masses or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting.
- e. On-site circulation systems shall incorporate a streetscape containing curbs, sidewalks, pedestrian-scale light standards and street trees.

9. Landscaping. In addition to the requirements of chapter [18.4.4](#), Landscaping, Lighting, and Screening, development shall conform to the following standards:

- a. Efforts shall be made to save as many existing healthy trees and shrubs on the site as possible.
- b. Landscaping design shall utilize a variety of low water use deciduous and evergreen trees, shrubs, and flowering plant species as described in subsection [18.4.4.030.1](#).
- c. For developments in the CI zone and not adjacent to an active edge street, buildings adjacent to streets shall be buffered by landscaped areas at least ten feet in width, unless the area is used for entry features such as alcoves or as hardscape areas for pedestrian activities such as plazas or outside eating areas.
- d. Loading facilities shall be screened and buffered when adjacent to residentially zoned land.
- e. Landscaping shall be designed so that 50 percent coverage occurs after one year and 90 percent coverage occurs after five years.
- f. Irrigation systems shall be installed to ensure landscaping success.

10. Lighting. Development shall provide adequate lighting, including pedestrian-scale lighting not greater than 14 feet in height along pedestrian pathways. All lighting shall conform to section [18.4.4.050](#), Outdoor Lighting.

11. Screening Mechanical Equipment. In addition to meeting the requirements of chapter [18.4.4](#), Landscaping, Lighting, and Screening, all development shall conform to the following standards:

- a. Screen rooftop mechanical equipment from public rights-of-way or adjacent residentially zoned property through extended parapets or other roof forms that are integrated into the overall composition of the building.
- b. Parapets may be erected up to five feet above the height limit specified in the district in accordance with section [18.3.2.050](#), Dimensional Standards.
- c. Screen ground floor mechanical equipment from public rights-of-way and adjacent residentially zoned property.
- d. Solar energy systems are exempt from the screening requirements in subsections [18.3.2.060.B.11.a](#) and [18.3.2.060.B.11.c](#), above. Additionally, rooftop solar energy systems may be erected up to five feet above the calculated building height, and shall be no greater than five feet above the height limit specified in the district in accordance with Table [18.3.2.050](#), Dimensional Standards.
- e. Installation of mechanical equipment requires Site Design Review approval, unless otherwise exempted per chapter [18.5.2](#), Site Design Review.

12. Transit Facilities Standards. The location of planned transit routes within the Croman Mill District shall be defined according to the Croman Mill District Transit Framework map (see Figure [18.3.2.060.B.12](#)) in collaboration with the local transit authority. Transit service facilities such as planned bus rapid transit facilities, shelters, and pullouts shall be integrated into the development application consistent with the following standards:

REPLACE WITH:

NOTE: Drawing will be updated following pre-app conference.



Figure 18.3.2.060.B.12. Transit Framework

- a. All large scale development located on an existing or planned transit route shall accommodate a transit stop and other associated transit facilities unless the Community Development Director determines that adequate transit facilities already exist to serve the needs of the development; or
- b. Provide the City with a bond or other suitable collateral ensuring satisfactory completion of the transit facilities at the time transit service is provided to the development. Suitable collateral may be in the form of security interest, letters of credit, certificates of deposit, cash bonds, bonds or other suitable collateral as determined by the City Manager.

13. Freight Rail Spur Easement—CI zone:

- a. A rail spur easement a minimum of 500 feet in length by 25 feet in width shall be set aside at the approximate location in the Transit Framework Map in Figure [18.3.2.060.B.12](#) (see also easement area in Figure [18.3.2.060.B.13.a](#)).



Figure 18.3.2.060.B.13.a. Freight Rail Spur [NOT RELEVANT TO NEW PLAN]

b. No buildings or permanent structures can be established within the spur easement so as not to preclude installation of a rail spur for freight loading and unloading.

e. Buildings adjacent to the reserve strip shall be designed and configured to permit loading and unloading.

14.13. Commuter Rail Platform Easement ~~NC Zone.~~

a. A commuter rail platform easement or designated railroad right-of-way a minimum of 400 feet in length and 25 feet in width shall be set aside at the approximate location presented on the Transit Framework map (see also easement area in Figure [18.3.2.060.B.14.a](#)).

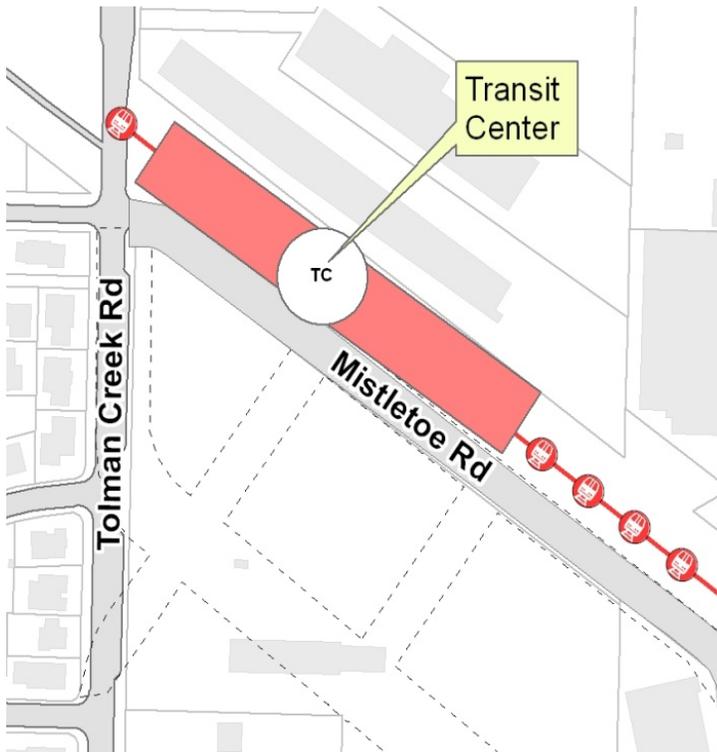


Figure 18.3.2.060.B.14.a. Transit Center

b. No building or permanent structure shall be placed within the platform easement or in such a way as to preclude installation of a commuter rail platform or planned bus rapid transit facility.

c. Buildings adjacent to the reserve strip shall be designed and configured to permit loading and unloading.

15. Transit Plaza. A location for the transit plaza shall be reserved between the commuter rail platform and commercial uses along the central boulevard. The design of the plaza as illustrated in Figure [18.3.2.060.B.15](#) shall include the following elements:

a. A passenger waiting, loading, and unloading area.

b. Outdoor gathering space adjacent to commercial uses.

c. Accommodate the central bike path.

d. Conveniently located and secure bike parking.

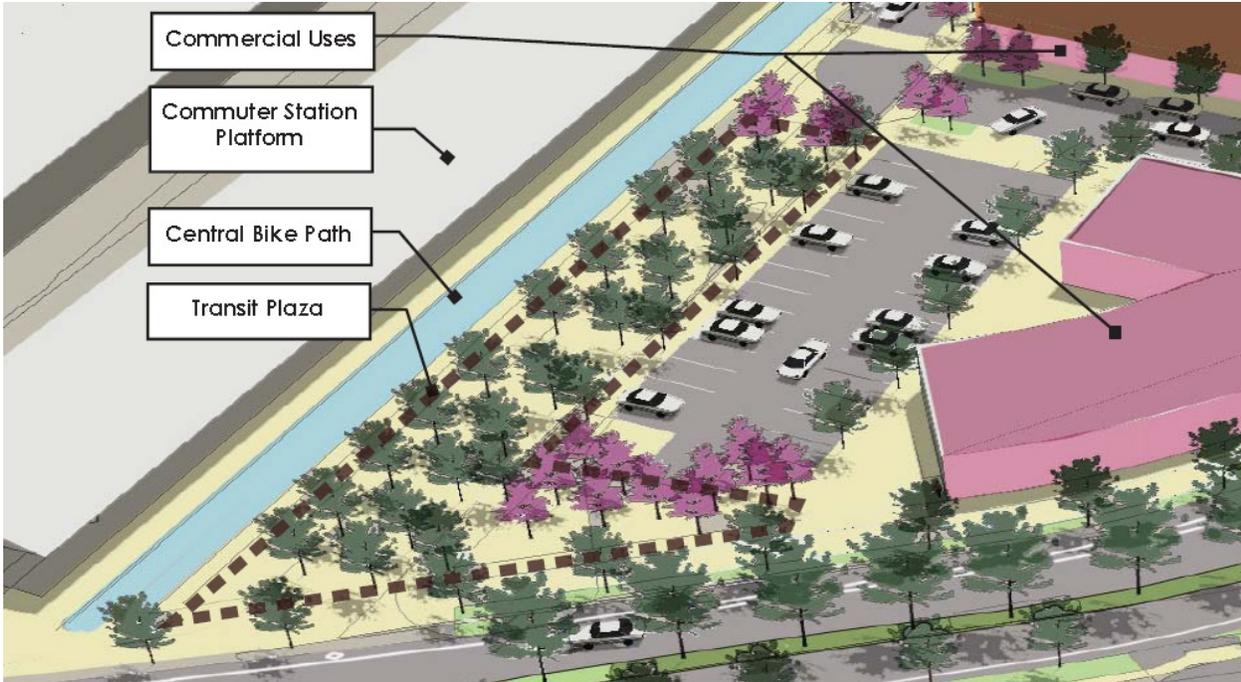


Figure 18.3.2.060.B.15. Transit Plaza

16. Central Park. The purpose of the central park is to serve as a public amenity and accommodate the daily needs of employees (e.g., breaks, lunch time) as well as for special events that will attract residents citywide. The central park design as illustrated in Figure 18.3.2.060.B.16 shall provide a minimum of the following elements:

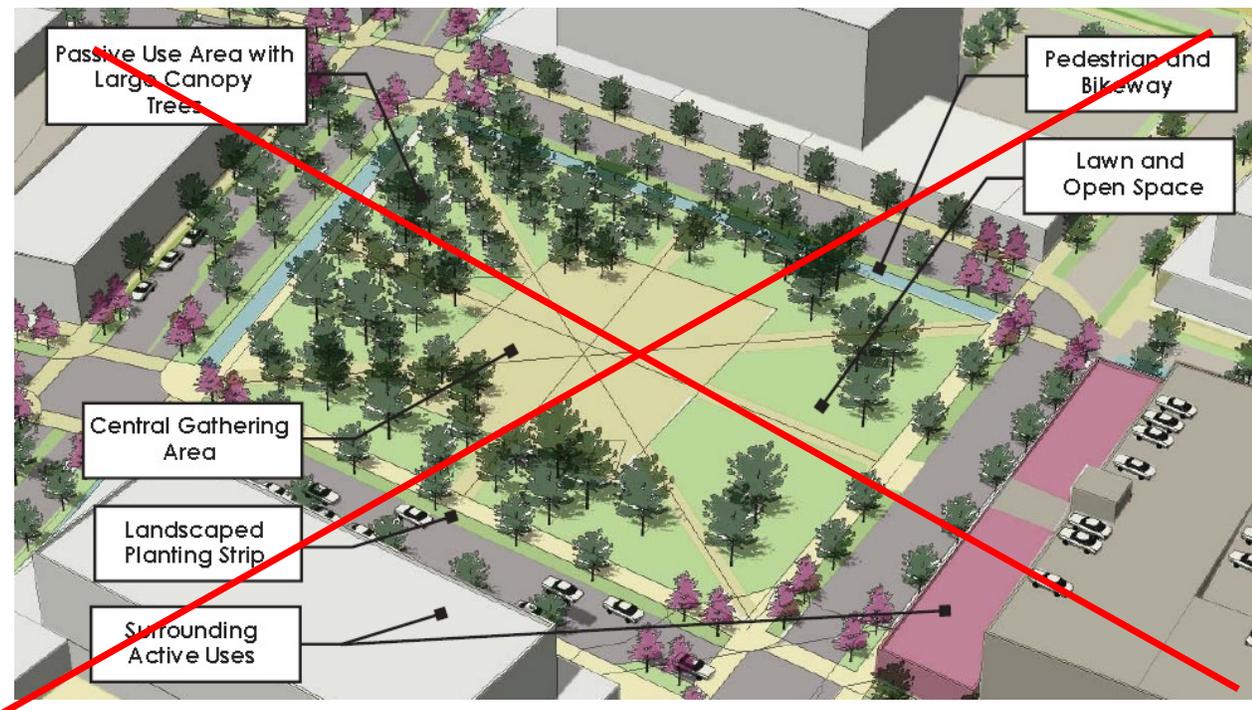


Figure 18.3.2.060.B.16. Central Park [Not relevant to new plan]

a. Circulation through and around the central park.

~~b. A centrally located hardscape area to accommodate large gatherings, and of no more than 50 percent of the total central park area.~~

c. Street furniture, including lighting, benches, low walls, and trash receptacles along walkways and the central park perimeter.

d. Simple and durable materials.

e. Trees and landscaping that provide visual interest with a diversity of plant materials.

f. Irregular placement of large-canopy trees within passive areas adjacent to the central boulevard.

~~g. Eight foot minimum sidewalk width and seven foot minimum park row width.~~

~~h. Landscaped swales to capture and treat runoff.~~

~~i. Porous solid surfacing for at least 50 percent of the hardscape area, and paving materials that reduce heat absorption (Solar Reflective Index (SRI) of at least 29).~~

17. Compact Development. New development shall provide a compact development pattern. This standard is met where the site layout enables future intensification of development and changes to land use over time, as applicable. The following measures shall be used to demonstrate compliance with this standard.

a. The development achieves the required minimum floor area ratio (FAR) and minimum number of stories, or shall provide a shadow plan that demonstrates how development may be intensified over time for more efficient use of land and to meet the required FAR and minimum number of stories.

b. Opportunities for shared parking are utilized.

C. Green Development Standards. The Croman Mill District Green Development Standards provide specific requirements for the management of storm water run-off, use and collection of recycled materials, solar orientation and building shading, and conserving natural areas. Development located in the Croman Mill District shall be designed and constructed consistent with the following Green Development Standards. A site layout, landscaping, or building design in a manner inconsistent with the Croman Mill District Green Development Standards requires a minor amendment in accordance with subsection [18.3.2.030.B](#).

1. Conserve Natural Areas. Development plans shall preserve water quality, natural hydrology, and habitat, and preserve biodiversity through protection of streams and wetlands. In addition to the requirements of chapter [18.3.11](#) Water Resources Overlay, conserving natural water systems shall be considered in the site design through application of the following standards.

a. Designated stream and wetland protection areas shall be considered positive design elements and incorporated in the overall design of a given project.

b. Native riparian plant materials shall be planted in and adjacent to the creek to enhance habitat.

c. Create a long-term management plan for on-site wetlands, streams, associated habitats, and their buffers.

2. Create Diverse Neighborhoods. Development plans shall use the following measures to encourage diversity in the district by providing a balanced range of housing types that compliment a variety of land uses and employment opportunities.

a. Differentiate units by size and number of bedrooms.

b. For developments including more than four dwelling units, at least 25 percent of the total units shall be designated as rental units.

c. Affordable purchase housing provided in accordance with the standards established by section [18.2.5.050](#) Affordable Housing Standards for households earning at or below 80 percent of the area median income shall apply toward the required percentage of rental housing per subsection [18.3.2.060.C.2.b](#), above.

d. Units designated as market rate or affordable rental units shall be retained as one condominium tract under one ownership. **[Some may be fee-simple in new plan, and owned by affordable housing institutions]**

3. Design Green Streets. Development plans shall conform to the following standards for green streets.

a. New streets shall be developed to capture and treat storm water in a manner consistent with the Croman Mill District Stormwater Management Plan map, the Ashland Stormwater Master Plan and Green Streets Standards.

b. All development served by planned green streets shall accommodate said facilities by including the same in the development plan; and/or provide the City with a bond or other suitable collateral ensuring satisfactory completion of the green street(s) at the time full street network improvements are provided to serve the development. Suitable collateral may be in the form of security interest, letters of credit, certificates of deposit, cash bonds, bonds or other suitable collateral as determined by the City Manager. See locations of green streets illustrated in Figure [18.3.2.060.C.3.b.i](#) and the street cross section in Figure [18.3.2.060.C.3.b.ii](#).



Figure 18.3.2.060.C.3.b.i. Stormwater Management Plan [Not relevant to new plan]

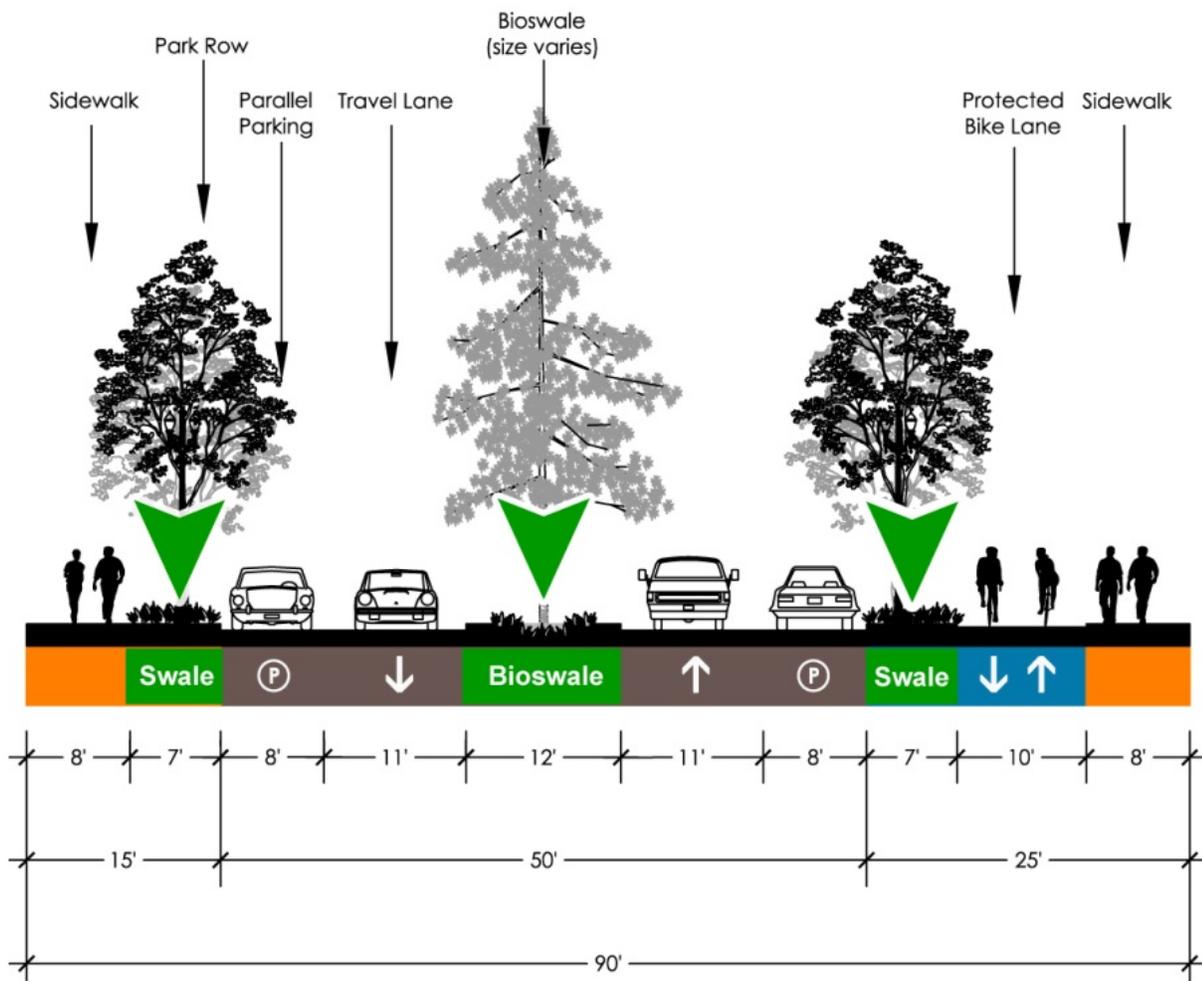


Figure 18.3.2.060.C.3.b.ii. Green Streets

NOTE: Detailed Street Section Varies

4. Design Green Surface Parking. Development shall minimize the adverse environmental and microclimatic impacts of parking lots by using a maximum of 25 percent of the project area for surface parking, **or by employing pervious pavement for any areas greater than 25% of the project area.** Parking areas shall conform to the standards of chapter [18.4.3](#) Parking, Access, and Circulation, chapter [18.4.4](#) Landscaping, Lighting, and Screening, and the applicable provisions of this chapter.

5. Storm Water Management. Development shall reduce the public infrastructure costs and adverse environmental effects of storm water run-off by managing run-off from building roofs, driveways, parking areas, sidewalks, and other hard surfaces through implementation of the following standards.

- a. Design grading and site plans to capture and slow runoff.
- b. Use porous solid surfaces that allow water to infiltrate the soil.
- c. Direct discharge storm water runoff into a designated green street and neighborhood storm water treatment facilities.
- d. Retain rainfall on-site through infiltration, evapotranspiration or through capture and reuse techniques.

6. Recycling Areas. All developments in the Croman Mill District shall provide an opportunity-to-recycle site for use of the project occupants, pursuant to the following standards.

a. Non-residential development shall provide a site to accommodate materials collected by the local solid waste franchisee under its on-route collection program for purposes of recycling that is of equal or greater size and with access comparable to the solid waste receptacle.

b. All newly constructed residential units, either as part of an existing development or as a new development, shall provide an opportunity-to-recycle site in accord with the following standards.

i. Residential developments not sharing a common solid waste receptacle shall provide an individual curbside-recycling container for each dwelling unit in the development.

ii. Residential developments sharing a common solid waste receptacle shall provide a site to accommodate materials collected by the local solid waste franchisee under its on-route collection program for purposes of recycling that is of equal or greater size and with access comparable to the solid waste receptacle.

c. Both opportunity-to-recycle sites and common solid waste receptacles shall be screened by fencing or landscaping, such as to limit the view of such facilities from adjacent properties or public rights-of-way. Such screening shall consist of placement of a solid wood, metal, or masonry wall from five to eight feet in height. All refuse and recycle materials shall be contained within the refuse area.

7. Minimize Construction Impacts. Construction activity shall minimize pollution and waste generation through the following measures.

a. Develop and implement an erosion and sediment control plan to reduce pollution from construction activities by controlling soil erosion, waterway sedimentation, and airborne dust generation in accordance with Ashland Public Works Standards. The erosion and sediment control plan shall be submitted with the final engineering for public improvements and building permits.

b. Recycle and/or salvage non-hazardous construction and demolition debris in accordance with the Building Demolition Debris Diversion requirements in 15.04.216.C.

8. Potable Water Reduction for Irrigation. Development plans shall provide water-efficient landscape irrigation designs that reduces the use of potable water by at least 50 percent of the baseline. See definition of baseline under water conserving landscaping in 18.6. Landscape and irrigation design, along with irrigation schedules shall conform to subsection [18.4.4.030.I](#). Methods used to accomplish the requirements of this section may include, but are not limited to, plant species selection, irrigation efficiency, proper scheduling, and use of captured rainwater, recycled water, graywater, and/or water treated for irrigation purposes and conveyed by a water district or public utility.

9. Solar Orientation. In addition to complying with the applicable provisions of subsection [18.3.2.060.B](#) Site and Building Design, development plans shall incorporate passive and active solar strategies in the design and orientation of buildings and public spaces. When site and location permit, orient the building with the long sides facing north and south.

10. Building Shading. In order to promote energy conservation, development plans shall incorporate shade features as follows.

a. Provide horizontal exterior shading devices or deciduous vegetation **or deciduous vegetation** for south-facing windows to control solar gain during the peak cooling season.

b. Provide vertical exterior shading devices **or deciduous vegetation** for east- and west-facing windows to control solar gain and glare due to low sun angles during the peak-cooling season.

c. A combination of horizontal and vertical exterior shading devices **or deciduous vegetation** may be necessary to control solar gain on southwest- and southeast-facing windows.

11. Recycled Content in Infrastructure. For new streets, driveways, parking lots, sidewalks, and curbs, the aggregate materials shall be **it is strongly encouraged to use** at least 50 percent by volume recycled aggregate materials such as crushed Portland cement concrete and asphalt concrete. Above ground structured parking and underground parking are

~~exempt from this requirement. [Availability of recycled materials is unknown and could be an unreasonable project burden.]~~

12. Outdoor Lighting. Outdoor lighting, in addition to complying with section 18.4.4.050 Outdoor Lighting, shall use down-shielded light fixtures that do not allow light to emit above the 90-degree plane of the fixture. Lighting fixtures provided to implement Federal Aviation Administration mitigation measures to enhance safe air navigation are exempt from this standard.

~~[We propose to delete the following section because density and height bonuses are not relevant in this location for this plan. In our view, maximum density and height within reason and supported by the market should be encouraged as a matter of best practice policy, not as an incentive to achieve other goals. If density/height increases are not supported by the market, the provision is unnecessary; if density/height beyond a certain level is unwarranted, it should be restricted outright by code, in our view.]~~

~~13. Performance Standard Bonuses. The permitted building height or base residential density, whichever is applicable, shall be increased by the number of stories or percentage residential density as outlined below. In no case shall the building height or residential density exceed the height and density bonus maximums in the Table 18.3.2.050 Croman Mill Dimensional Standards.~~

~~a. Green Building Bonus. Projects that achieve a high performance green building standard and significantly improve energy performance beyond the current minimum Oregon requirements are eligible for a building height bonus as follows:~~

~~i. In the event that a building or structure is determined to be meet the standard for LEED® certified building, the building height may exceed the maximum height specified for the CM zones within the Table 18.3.2.050 Dimensional Standards, through application of a height bonus as follows:~~

~~(A) A building obtaining LEED® certification as meeting the LEED® Silver Standard may be increased in height by up to one story.~~

~~(B) A building obtaining LEED® certification as meeting the LEED® Gold Standard may be increased in height by up to two stories.~~

~~(C) A building in the Residential Buffer overlay obtaining LEED® certification as meeting the LEED® Silver or Gold Standard may be increased in height by ½ story up to a maximum height of 40 feet.~~

~~(D) Applications to increase the building height in excess of the maximum permitted height through the application of a height bonus shall address any conditional determination by the Federal Aviation Administration requesting air navigation safety mitigation measures.~~

~~ii. Demonstration of Achieving LEED® Certification. Projects awarded a height bonus pursuant to this section, shall provide the City with satisfactory evidence of having completed the following steps in the process toward demonstrating achievement of LEED® certification:~~

~~(A) Hiring and retaining a LEED® accredited professional as part of the project team throughout design and construction of the project.~~

~~(B) Developments seeking a height bonus shall provide documentation with the planning application, and prior to issuance of a building permit, that the proposed development as designed and constructed will meet or exceed the equivalent LEED® standard relating to the height bonus awarded.~~

~~(C) A final report shall be prepared by the LEED® accredited professional and presented to the City upon completion of the project verifying that the project has met, or exceeded, the LEED® standard relating to the height bonus awarded.~~

~~(D) The report shall produce a LEED® compliant energy model following the methodology outlined in the LEED® rating system. The energy analysis done for the building performance rating method shall include all energy costs associated with the building project.~~

b. Structured Parking Bonus. A building may be increased by up to one story in height when the corresponding required parking is accommodated underground or within a private structured parking facility, subject to building height limitations for the zoning district.

e. Affordable Housing Bonus.

i. For every percent of units that are affordable, an equivalent percentage of density bonus shall be allowed up to a maximum bonus of 100 percent.

ii. Affordable housing bonus shall be for residential units that are affordable for moderate income persons in accordance with the standards established by section [18.2.5.050](#) Affordable Housing Standards, and guaranteed affordable through procedures contained therein.

14. Employment Density. To promote transit supportive development, efficient use of employment zoned lands and local economic vitality, it is recommended that developments within the Croman Mill District are planned to accommodate employment densities as follows.

a. 60 employees per acre in the OE zone.

b. 25 employees per acre in the CI zone.

e. 25 employees per acre in the MU zone.

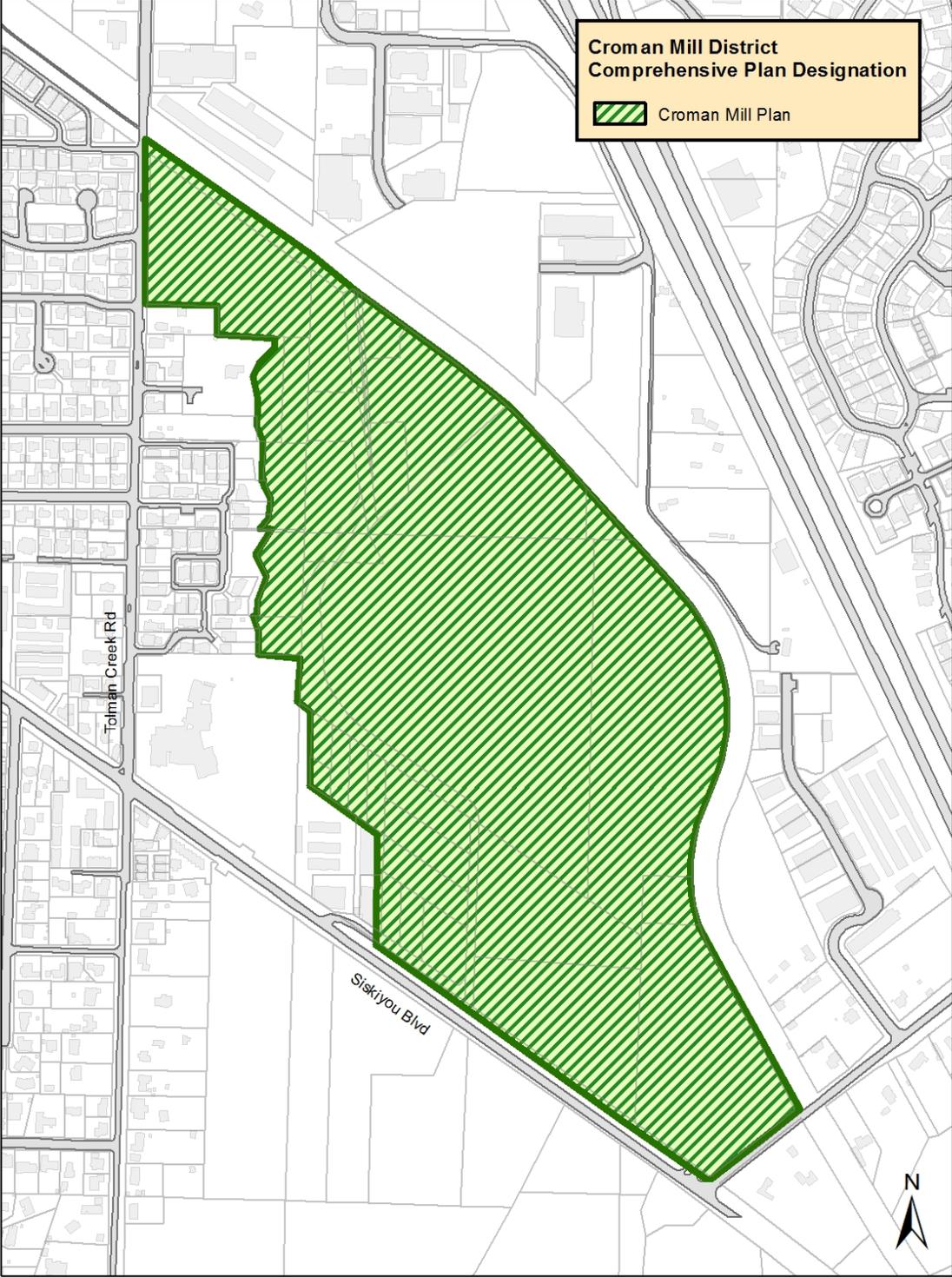
d. 20 employees per acre in the NC zone. (Ord. 3192 § 120, amended, 11/17/2020; Ord. 3191 § 8, amended, 11/17/2020)

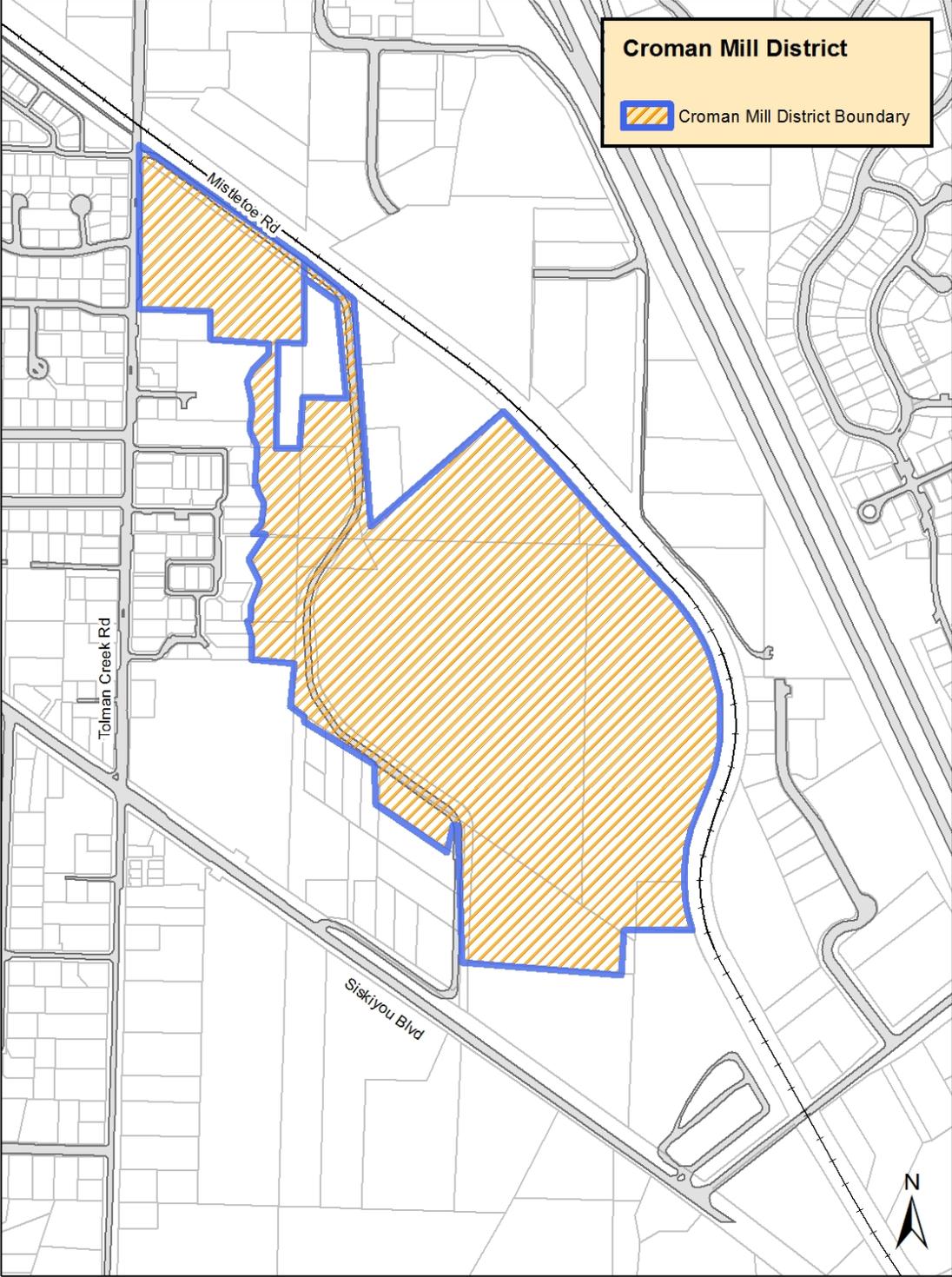
[Employment densities will be covered in the development agreement.]

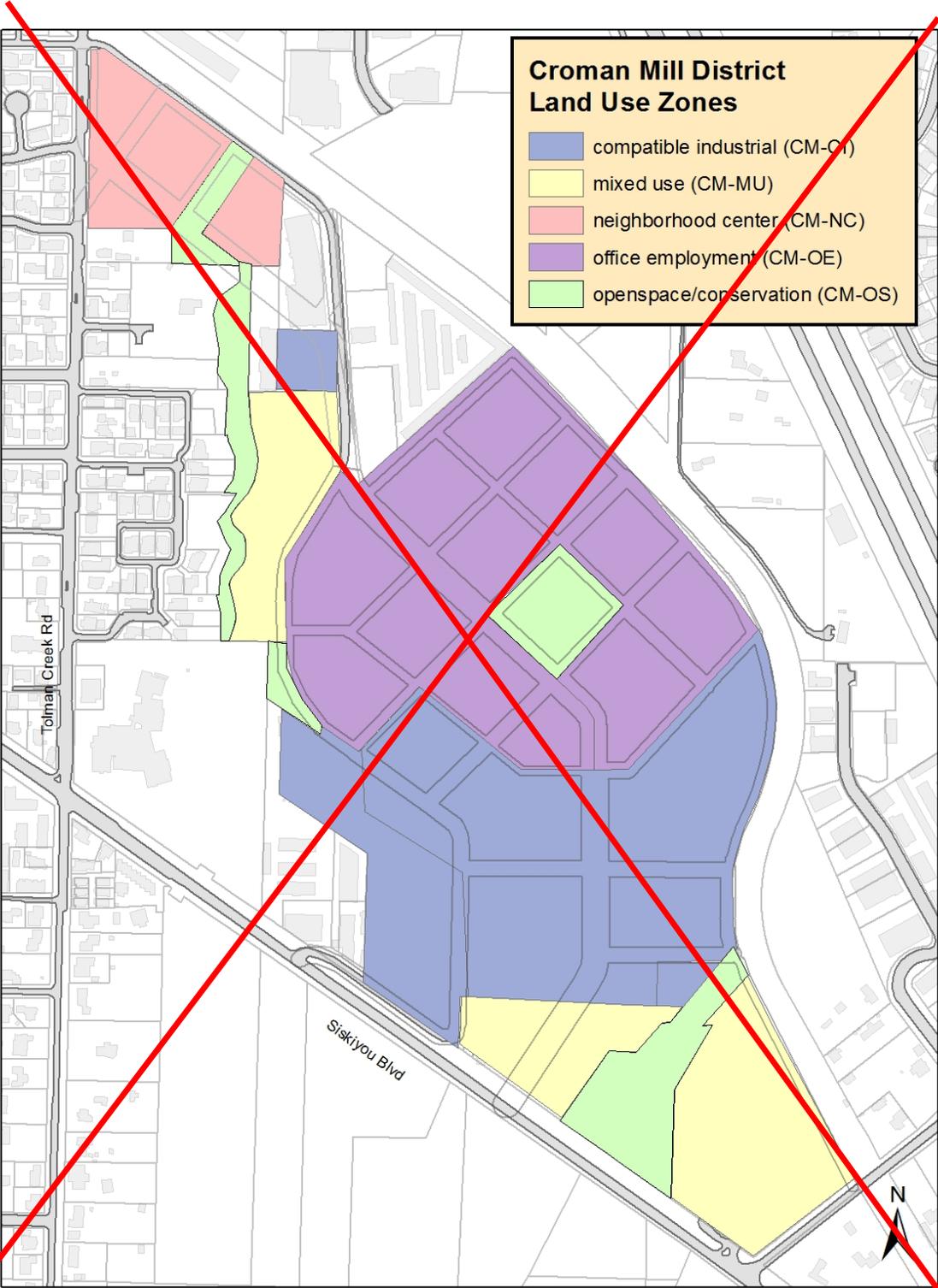
18.3.2.070 Open Space Zone

All projects containing land identified as open space on the Croman Mill District Zoning map shall dedicate designate those areas as park or common open space for use by the public. It is recognized that the master planning of the properties as part of the Croman Mill Site Redevelopment Plan imparted significant value to the land, and the required dedication of those lands within the Croman Mill District for open space and conservation purposes is proportional to the value bestowed upon the property through the change in zoning designation.

[Parks is unable and unwilling to accept dedicated parks within the project at this time.]

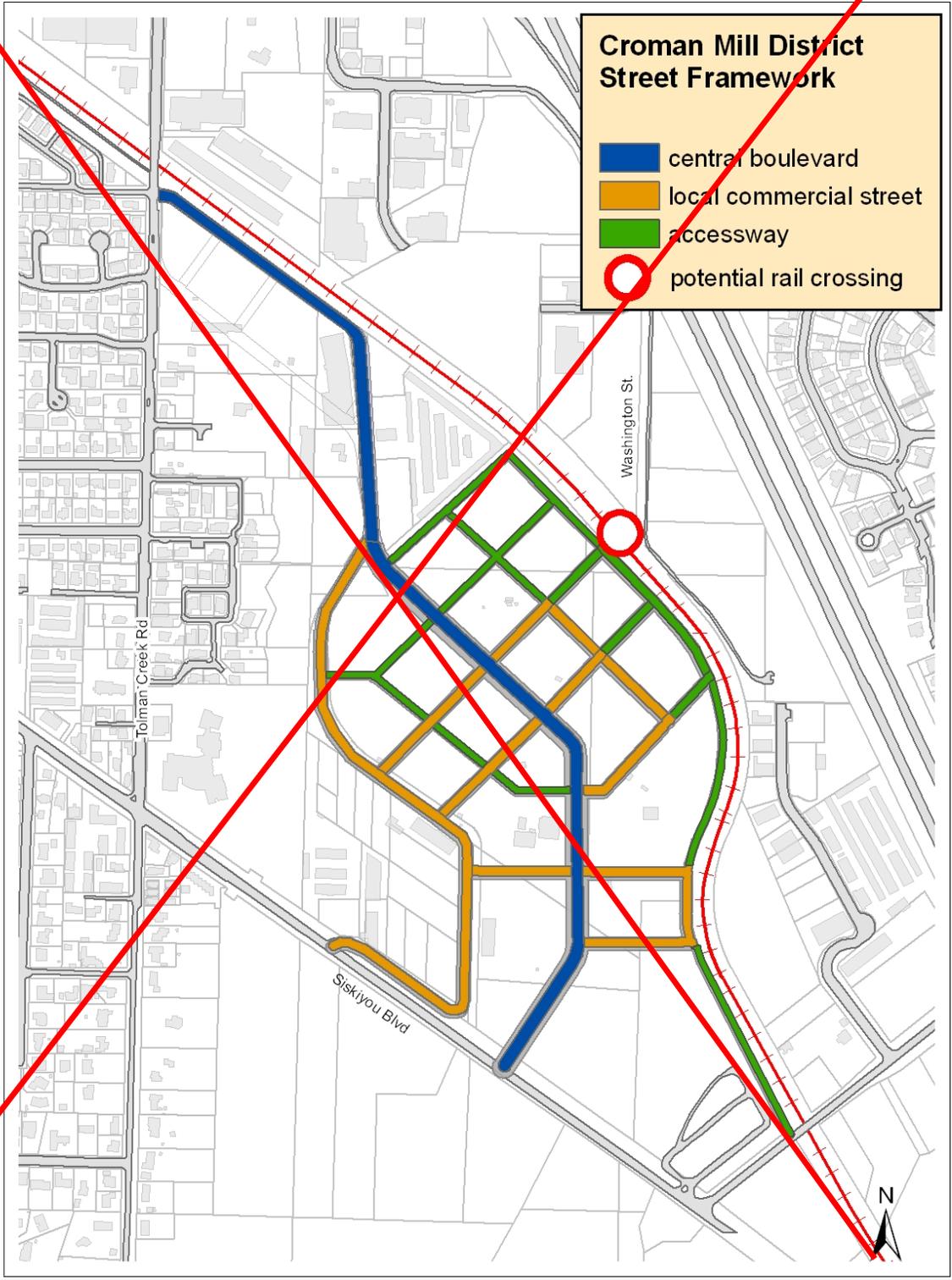






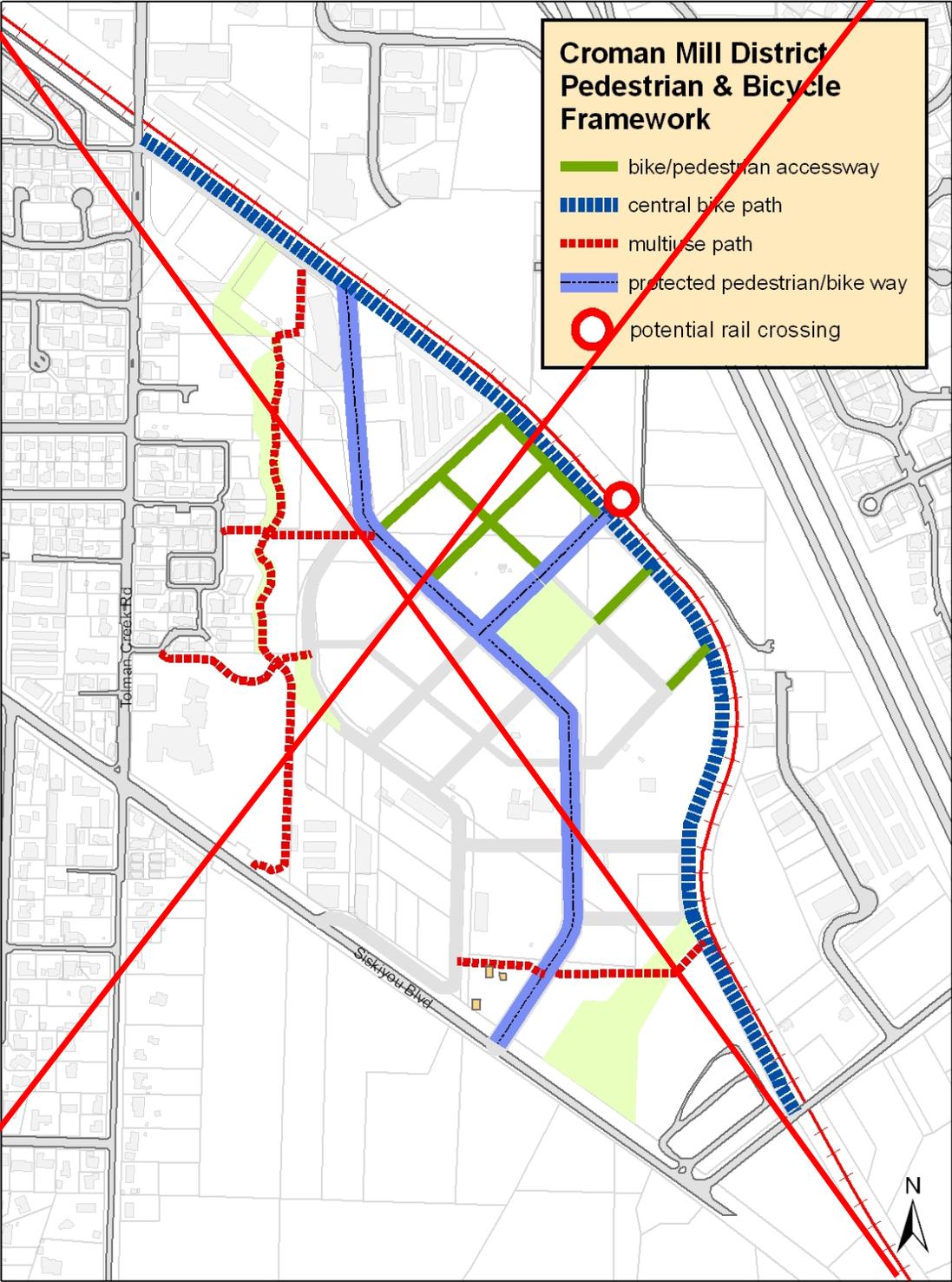
Croman Mill District Street Framework

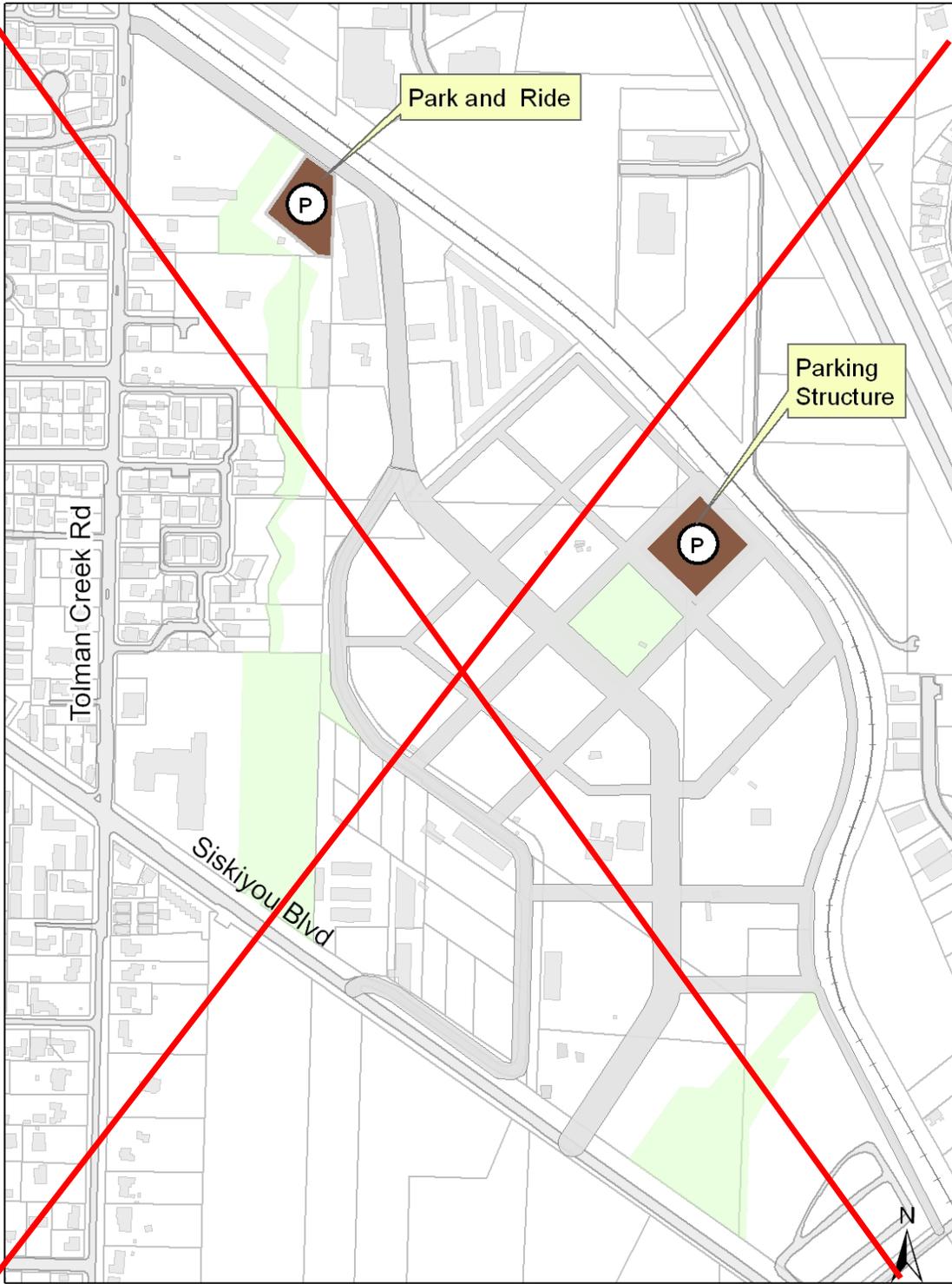
-  central boulevard
-  local commercial street
-  accessway
-  potential rail crossing



Croman Mill District Pedestrian & Bicycle Framework

- bike/pedestrian accessway
- ▬▬▬ central bike path
- ▬▬▬ multiuse path
- ▬▬▬ protected pedestrian/bike way
- potential rail crossing





(Ord. 3191 § 9, amended, 11/17/2020)